

**SUWANNEE COUNTY BOARD OF COUNTY COMMISSIONERS
JUDICIAL ANNEX BUILDING
218 PARSHLEY STREET SOUTHWEST
LIVE OAK, FLORIDA 32064**

TENTATIVE AGENDA FOR OCTOBER 17, 2023, AT 5:30 P.M.

**Invocation
Pledge to American Flag**

ATTENTION:

- The Board may add additional items to this agenda.
- Affirmative action on any item includes authorization of the Chairman's or designee's signature on all associated documents.
- Individual speakers from the audience will be allowed three (3) minutes to speak following recognition by the Chairman and must speak from the podium. Speakers may only make one (1) trip to the podium regarding each item they wish to speak on.
- Groups or factions representing a position on a proposition or issue are required to select a single representative or spokesperson. The designated representative will be allowed to speak for seven (7) minutes following recognition by the Chairman and must speak from the podium. Speakers may only make one (1) trip to the podium regarding each item they wish to speak on.
- For general updates or questions regarding County business, contact the County Administrator during regular business hours at (386) 364-3400.

APPROVAL OF MINUTES:

1. a) September 25, 2023 – Special Meeting
b) September 25, 2023 – Final Budget Hearing
c) October 3, 2023 – Regular Board Meeting
d) October 5, 2023 – Special Meeting
e) October 11, 2023 – Special Meeting

CONSENT:

2. Approval of payment of processed invoices.
3. Approval of renewal of resolution declaring the Local State of Emergency due to Hurricane Idalia.
4. Approval of Funding Agreement between Suwannee County and Meridian Healthcare, Inc. in the amount of \$64,111 for the provision of mental health, Baker Act, and addiction services.
5. Approval of Proposal from Locklear & Associates to provide engineering services associated with a comprehensive vulnerability assessment in accordance with Section 380.093, Florida Statutes.
6. Approval of Supplemental Agreement No. 1 with the Florida Department of Transportation (FPN 443415-1-34-01) releasing surplus funding of \$295,595 on the design phase of project CR49 and adoption of enabling resolution.

7. Authorization to execute two checks from State Farm Insurance for a claim on a State Initiatives Housing Plan client's homeowner's insurance policy.
8. Award Request for Proposals 2023-13 to RDK Truck Sales for ten (10) dump trucks for the Road Department. Budgeted items.

TIME-SPECIFIC ITEMS:

9. **At 5:35 p.m.** or as soon thereafter as the matter can be heard, **hold a public hearing** to consider Special Permit Request No. SP-23-10-01 by Tower Engineering Professionals, authorized agent for Glenda Sanford, to be granted a special permit under Section 14.11 of the Suwannee County Land Development Regulations for an essential service (199 feet monopole communications tower and associated equipment) on property zoned A-1. (Ronald Meeks, Development Services Director)

CONSTITUTIONAL OFFICERS ITEMS:

STAFF ITEMS:

PROCLAMATIONS AND PRESENTATIONS:

10. Presentation of Visit Suwannee's new video. (Economic Development Director Jimmy Norris and Marketing Coordinator Charissa Setzer)

COMMISSIONERS ITEMS:

COUNTY ATTORNEY ITEMS:

GENERAL BUSINESS:

11. Set the meeting date, time, and location to extend the Local State of Emergency. (Greg Scott, County Administrator)
12. **Additional Agenda Items.** The Chairman calls for additional items.
13. Public Concerns and Comments. (Filling out of Comment Card required, and forward to Chairman or County Administrator. Individual speakers from the audience will be allowed three (3) minutes, and a single representative or spokesperson will be allowed seven (7) minutes to speak following recognition by the Chairman and must speak from the podium – one (1) trip to the podium.)
14. Administrator's comments and information.
15. Board Members Inquiries, Requests, and Comments.

5:30 p.m.

The Suwannee County Board of County Commissioners met on the above date and time for special called meeting and the following were present: Chairman Franklin White; Commissioner Don Hale; Commissioner Maurice Perkins; Commissioner Travis Land; and Commissioner Leo Mobley. Chief Deputy Clerk of Finance Keith Gentry; Eric Musgrove Deputy Clerk; Greg Scott, County Administrator; and Adam Morison, County Attorney, were also present.

Chairman White called the meeting to order at 5:30 p.m.

The first item on the agenda was renewal of a resolution declaring a Local State of Emergency due to Hurricane Idalia.

Commissioner Hale moved to approve renewal of a resolution declaring a Local State of Emergency due to Hurricane Idalia. Commissioner Land seconded, and the motion carried unanimously. (Resolution No. 2023-35-05)

County Administrator Scott requested a meeting be set for the next extension of the State of Emergency.

The Board agreed to hold the next extension of the State of Emergency on Friday, September 29, at 8 a.m. at the Airport Conference Room.

The second item on the agenda was to rescind the September 19, 2023 Board approval of renewal of the FMIT Florida Firefighter Cancer Benefit Program Class 1 Lump Sum Cancer Benefit with Death Benefit and approve the United Badges Insurances Services proposal to provide coverage through Provident in the amount of \$7,216.50.

Chairman White briefly discussed the difference in prices and coverage.

Commissioner Land moved to approve rescinding the September 19, 2023 Board approval of renewal of the FMIT Florida Firefighter Cancer Benefit Program Class 1 Lump Sum Cancer Benefit with Death Benefit. Commissioner Perkins seconded, and the motion carried unanimously.

Commissioner Mobley moved to approve the United Badges Insurances Services proposal to provide coverage through Provident in the amount of \$7,216.50. Commissioner Perkins seconded, and the motion carried unanimously.

County Attorney Morrison noted that since approximately 2007, there had been a \$3 surcharge on certain court cases that was used for a Teen Court program, which for many years had been administered through Charles Jenkins of Lake City. He stated that there had not been any Teen Court cases for a few years and the Clerk was looking to not renew the contract between his office and Mr. Jenkins, effective September 30, 2023. County Attorney Morrison stated that since the Board had instituted the \$3 ordinance, he would feel more comfortable if they stated their approval of Clerk Baker's decision not to renew the contract with Mr. Jenkins.

Commissioner Land moved to stand by the Clerk's decision not to renew a contract from 2007 with Mr. Charles Jenkins of Lake City for the administration of Teen Court services, effective September 30, 2023. Commissioner Hale seconded, and the motion carried unanimously.

County Attorney Morrison stated that the \$3 Teen Court ordinance would continue in place until a decision was made by the State Attorney's Office as to whether there was interest in them providing the Teen Court program. If there was no interest, he would be bringing before the Board a request to amend the ordinance to rescind the \$3 Teen Court fee.

The Board offered its condolences to Chairman White.

Chairman White thanked the Board and public for their support during the loss of his mother.

Commissioner Hale asked if there was a planned route for the company that was cleaning up debris from Hurricane Idalia. County Administrator Scott stated that the company would go through the entire County two or three times to collect debris, but there was more debris than what the company originally believed, and it would take a longer time to complete it.

Discussion ensued on the debris pickup by a State contractor and that the debris was not being placed on County property.

After questioning by Commissioner Hale, County Administrator Scott replied that there was some work being performed to cut down leaning trees that were a hazard to buildings, power lines, etc. and to fix damaged lines.

Discussion ensued on having a float for upcoming parades and also debris clearing work.

Commissioner Perkins moved to adjourn the meeting. Commissioner Hale seconded, and the motion carried unanimously.

There being no further business to discuss, the meeting adjourned at 5:48 p.m.

ATTEST:

_____, DC
BARRY A. BAKER
CLERK OF THE CIRCUIT COURT

FRANKLIN WHITE, CHAIRMAN
SUWANNEE COUNTY BOARD OF
COUNTY COMMISSIONERS

5:05 p.m.

The Suwannee County Board of County Commissioners met on the above date and time for the Fiscal Year 2023-2024 final budget hearing and the following were present: Chairman Franklin White; Commissioner Don Hale; Commissioner Maurice Perkins; Commissioner Travis Land; and Commissioner Leo Mobley. Clerk of Court Barry A. Baker; Finance Director Keith Gentry; Neena Funicelli and Eric Musgrove, Deputy Clerks; Greg Scott, County Administrator; and Adam Morrison, County Attorney, were also present.

Chairman White called the hearing to order at 5:06 p.m. and asked Commissioner Perkins to lead the invocation and Commissioner Mobley to lead the Pledge of Allegiance to the Flag of the United States of America.

The purpose of the hearing was to discuss the final budget for Fiscal Year 2023-2024.

Clerk Baker announced that the FY 2023-2024 proposed final millage rate was 9.0000 mills and proposed final budget was \$163,772,748. He also announced the rolled-back rate of 8.2763 mills and that the proposed millage rate would be an 8.74% increase over the rolled-back rate.

Chairman White opened the public hearing.

Chairman White opened the floor to comments, beginning with Constitutional Officers.

There were no Constitutional Officers who wished to speak.

Chairman White asked for outside agencies to speak.

There were no outside agencies who wished to speak.

Chairman White asked for department heads to speak.

There were no department heads who wished to speak.

Chairman White opened the floor to public comments.

As there were no public comments, Chairman White closed the floor to public comments.

At 5:08 p.m., Commissioner Perkins moved to approve a resolution adopting the levying of a final millage rate of 9.0000 mils for ad valorem taxes for Suwannee County for Fiscal Year 2023-2024.

Commissioner Hale seconded, and the motion carried unanimously. (Resolution No. 2023-47)

At 5:09 p.m., Commissioner Land moved to approve a resolution adopting a final budget for Fiscal Year 2023-2024 of \$163,772,748. Commissioner Perkins seconded, and the motion carried unanimously. (Resolution No. 2023-48)

Chairman White closed the public hearing.

Commissioner Hale moved to adjourn the meeting. Commissioner Perkins seconded, and the motion carried unanimously.

There being no further business to discuss, Chairman White adjourned the final budget hearing at 5:11 p.m.

ATTEST:

_____, DC
BARRY A. BAKER
CLERK OF THE CIRCUIT COURT

FRANKLIN WHITE, CHAIRMAN
SUWANNEE COUNTY BOARD OF
OF COUNTY COMMISSIONERS

5:30 p.m.

The Suwannee County Board of County Commissioners met on the above date and time for a regular meeting and the following were present: Chairman Franklin White and Commissioner Don Hale; Commissioner Maurice Perkins; Commissioner Travis Land; and Commissioner Leo Mobley. Finance Director Keith Gentry; Eric Musgrove, Deputy Clerk; Greg Scott, County Administrator; and Adam Morrison, County Attorney, were also present.

Chairman White called the meeting to order at 5:30 p.m. and asked Commissioner Perkins to lead the invocation and Commissioner Mobley to lead the Pledge of Allegiance to the Flag of the United States of America.

MINUTES:

The first item on the agenda was to approve the minutes of the September 13, 2023 Special Called meeting and September 19, 2023 Regular Board meeting.

Commissioner Hale moved to approve the minutes of September 13, 2023 Special Called meeting and September 19, 2023 Regular Board meeting. Commissioner Perkins seconded, and the motion carried unanimously.

CONSENT:

The second item on the agenda was to approve payment of \$5,447,571.64 in processed invoices.

The third item on the agenda was adoption of a resolution changing the County Election Precinct Boundaries. **(Resolution No. 2024-01)**

The fourth item on the agenda was adoption of a resolution authorizing the transfer of land from the Florida Department of Transportation to Suwannee County for purposes of CR 250 bridge maintenance. **(Resolution No. 2024-02)**

The fifth item on the agenda was approval of Department of Environmental Protection Agreement #23PLN68 for county-wide assessment of critical infrastructure that could be exposed to inland flooding. **(Agreement No. 2024-01)**

The sixth item on the agenda was approval of a contribution in the amount of \$25,000 to the Suwannee County Sheriff's Office to be used for Call Taker salaries. Budgeted item.

The seventh item on the agenda was approval of an agreement with the North Central Florida Regional Planning Council in the amount of \$7,421 for Annual Monitoring of Hazardous Waste Generators for FY 2023-24. **(Agreement No. 2024-02)**

The eighth item on the agenda was approval of an agreement with the Florida Department of Health in the amount of \$100,000 for operation of the Suwannee County Health Department for FY 2023-24. **(Agreement No. 2024-03)**

The ninth item on the agenda was approval of a change order with Curt's Construction, Inc. for redesigning plans and updating quantities for Wideman Street and Carter Avenue paving projects. Budget impact: decrease in the amount of \$166,505.43. **(Agreement No. 2022-118-02)**

The tenth item on the agenda was approval of the Final Acceptance of Traffic Signal Installation(s) and Transfer of Maintenance Agreement with the Florida Department of Transportation for flashing beacons located at US 90 and CR 137. **(Agreement No. 2024-04)**

The eleventh item on the agenda was authorization to purchase a passenger van from the Florida Sheriff's Association, Sourcewell, or a sole source from under-utilized 2022-2023 funds for the Extension Office.

Commissioner Perkins moved to approve consent items 2-11. Commissioner Land seconded, and the motion carried unanimously.

It not yet being 5:35 p.m., Chairman White moved to Proclamations and Presentations.

PROCLAMATIONS AND PRESENTATIONS:

The fourteenth item on the agenda was to hear a presentation by 4-H.

Ms. Katie Jones, 4-H Coordinator, introduced members of the local 4-H club and stated that this week was National 4-H Week. A proclamation celebrating the week was then read into the record.

Commissioner Land moved to approve a resolution proclaiming National 4-H Week. Commissioner Perkins seconded, and the motion carried unanimously. (Resolution No. 2024-03)

Photographs were taken with the County Commission and the 4-H members.

It being after 5:35 p.m., Chairman White returned to Time Specific Items.

TIME-SPECIFIC ITEMS:

The twelfth item on the agenda was at 5:35 p.m., or as soon thereafter as the matter can be heard, hold a public hearing to consider the adoption of a resolution approving Special Permit for Temporary Use Request No. SPTU-23-09-01 by Teena Peavy, authorized agenda for James Cornett, to be granted a special permit for temporary use under Section 14.10 of the Suwannee County Land Development Regulations to relocate primitive camping at the Spirit of the Suwannee Music Park to adjacent property due to the effects of Hurricane Idalia for scheduled October 2023 events on property zoned Agriculture-1 (A-1) and Environmentally Sensitive Area (ESA-II).

Chairman White opened the public hearing.

County Attorney Morrison swore in all those wishing to speak.

Mr. Ronald Meeks, Development Services Director, discussed the Special Permit in some detail, noting that discussions had already been held with Spirit of the Suwannee regarding a solution to the issue. The Planning and Zoning Board had recommended approval of the Special Permit. Mr. Meeks then submitted the file into the record as Composite Exhibit #1.

After questioning by Commissioner Perkins, Mr. Meeks responded that the permit was only good through the end of October.

Chairman White opened the floor to public comments. There being none, Chairman White closed the floor to public comments.

Commissioner Hale moved to adopt a resolution approving Special Permit for Temporary Use Request No. SPTU-23-09-01 by Teena Peavy, authorized agenda for James Cornett, to be granted a special permit for temporary use under Section 14.10 of the Suwannee County Land Development Regulations to relocate primitive camping at the Spirit of the Suwannee Music Park to adjacent property due to the effects of Hurricane Idalia for scheduled October 2023 events on property zoned Agriculture-1 (A-1) and Environmentally Sensitive Area (ESA-II). Commissioner Land seconded, and the motion carried unanimously. (Resolution No. 2024-04)

The thirteenth item on the agenda was at 5:35 p.m., or as soon thereafter as the matter can be heard, hold a public hearing to consider enactment of an ordinance codifying the County's purchase of real property or real property interests.

County Attorney Morrison stated that the Board had adopted a resolution earlier in the year regarding eminent domain and purchase of real property. The process actually needed to be approved by an ordinance, and the proposed ordinance before the Board was a verbatim wording of the resolution.

Chairman White opened the floor to public comments. There being none, Chairman White closed the floor to public comments.

Commissioner Land moved to enact an ordinance codifying the County's purchase of real property or real property interests. Commissioner Perkins seconded, and the motion carried unanimously. (Ordinance No. 2024-01)

CONSITUTIONAL OFFICERS ITEMS:

There were none.

STAFF ITEMS:

Mr. Jason Furry, Parks and Recreation Director, stated that County Administrator Scott was honored this year by the Florida Recreation & Park Association, but he had to leave the conference early due to the emergency caused by Hurricane Idalia and missed the awards ceremony. Mr. Furry then played a video of the awards ceremony for the public's benefit.

Live Oak City Councilman Tommie Jefferson thanked County Administrator Scott for his many years of work with the black community through Parks and Recreation.

The County Commission thanked County Administrator Scott for his 35+ years as Parks and Recreation Director.

Mr. Ken Weaver thanked County Administrator Scott for his service to the community.

The County Commission presented County Administrator Scott with a plaque honoring his years of service in Parks and Recreation and then took photographs with him.

County Administrator Scott thanked the County Commission and community for their support, noting that his work was assisted by many great employees and volunteers.

PROCLAMATIONS AND PRESENTATIONS:

The fourteenth item on the agenda was to hear a presentation by 4-H.

This item was discussed prior to Time Specific Items.

COMMISSIONERS ITEMS:

There were none.

COUNTY ATTORNEY ITEMS:

County Attorney Morrison stated that an ordinance cancelling the old Teen Court surcharge would be discussed before the Board at the first regular meeting in November. He also discussed the takeover of certain property on 84th Street under eminent domain proceedings and asked that the Board approve the Finance Department to move \$50,000 into his legal trust account for the acquisition.

Some discussion ensued on the issue.

Commissioner Land moved to authorize the Finance Department to place \$50,000 in County Attorney Morrison's trust account for eminent domain work on 84th Street. Commissioner Mobley seconded, and the motion carried unanimously.

GENERAL BUSINESS:

The fifteenth item on the agenda was to hear a report from Greg Bailey, North Florida Professional Services, Inc.

Mr. Bailey reported the following matters: construction continued on Wideman and Carter Streets in Branford; 80th and 139th bids had come in over budget at \$280,000 and it was being requested from the Florida Department of Transportation; plans were complete for 76th; Express Street in Branford and Greenway Trail had been advertised; 153rd and 184th were in right-of-way acquisition; 68th Terrace near Interstate I-10 had been surveyed and design work was underway; the new County fire station plans were under review; the CDBG-CV building bathrooms and kitchen were being reviewed for shelter purposes; and the public water main extension was under review. Mr. Bailey then presented a draft of the Master Plan for the Catalyst Site that should be completed by Thanksgiving.

The sixteenth item on the agenda was to set the meeting date, time, and location to extend the Local State of Emergency.

Discussion was held on various dates and times, and County Administrator Scott suggested holding the meeting on Thursday at 8 a.m. at the Airport.

By consensus, the Board agreed to hold a meeting to extend the Local State of Emergency at 8:00 a.m. on Thursday, October 5 at the Airport.

The seventeenth item on the agenda was Additional Agenda Items.

There were none.

The eighteenth item on the agenda was public concerns and comments.

Live Oak Councilman Tommie Jefferson was concerned with the lack of Hurricane Idalia cleanup within the city limits and asked for an answer from the County.

County Administrator Scott stated that the County had no part in determining when and where cleanup was done, as it was all being handled through the Florida Department of Transportation (FDOT) and a company with which they had contracted. He added that he passed specific needs to FDOT as they were requested.

Further discussion ensued on the issue.

County Administrator Scott recommended that citizens have patience, as it would take some time to clean up all the areas affected by Hurricane Idalia. After further discussion, he clarified that the State and its contractor were responsible for the dispatch of debris removal vehicles, not the County.

Commissioner Land added that the County had nothing to do with the debris removal and a request could be sent to FDOT to express the City's concerns.

Further discussion ensued on the slow process of debris removal in Suwannee County.

Commissioner Perkins stated that it was a slow process to remove the vast amount of debris within Suwannee County, but he did see some clearing work being performed in the City of Live Oak.

Discussion continued on debris removal, and it was noted that there had been no debris removal in Branford since the hurricane.

Commissioner Hale stated that the Board had discussed whether to handle debris removal, but it was swiftly pointed out that it would cost the County millions of dollars to perform the work itself and take years to receive any reimbursement. The Board had agreed to have the State handle the removal, with the understanding that the County would have no say as to where debris removal took place.

Mr. Wesley Wainwright, McAlpin, stated that he had heard there were some issues with the contracted debris removal company not having enough monitors to oversee the work, and he recommended that interested citizens apply with the debris removal company.

Mr. Clyde Fleming, 206 Lewis Avenue SW, Live Oak, congratulated County Administrator Scott for his award for his many years of service. He also stated that the Commissioners had their hands full with the damage caused by Hurricane Idalia and noted some of the damage caused to his property. Mr. Fleming stated that although there was much hurricane-related damage in the City of Live Oak, there was even greater damage in the rural areas of County that also needed to be addressed. He expressed concerns with rodents and snakes within the debris piles that remained for some time.

Mr. Keith Bruders, 201 Ranchero Street, Live Oak, stated that he had moved from California three years before to find some peace and quiet where the people's rights were protected. He expressed a concern with many elected officials not knowing or defending the Constitution and Bill of Rights and suggested a proclamation declaring a Bill of Rights Day on December 15.

Mr. Steve Fontana, 21181 144th Street, discussed the consent item dealing with an environmental review and noted that Columbia County's review had led to higher insurance rates. County Attorney Morrison clarified that it was a State mandate to have the County environmental review completed.

Mr. Meeks discussed Florida Division of Emergency Management (FDEM) trailers at the Spirit of the Suwannee Music Park and noted that there was also another FDEM project [Non-Congregation Shelter (NCS) Program]] for placing trailers on citizen properties affected by Hurricane Idalia. He asked if the County would waive permit fees for the NCS Program, adding that the trailers would not be owned by the citizens but could be used for six months before affected citizens transferred to another project.

Discussion ensued on the program.

Commissioner Land moved to waive permit fees for Florida Division of Emergency Management trailers under the Non-Congregation Shelter (NCS) Program due to Hurricane Idalia. Commissioner Perkins seconded, and the motion carried unanimously.

Mr. Meeks stated that the Building Department had received just under 300 permits in the previous month, of which half were directly storm-related. He thanked the Building Department staff for their work and congratulated County Administrator Scott for his long service in Parks and Recreation.

After questioning by Chairman White, Mr. Meeks stated that the County had waived permit fees for electrical and roof repairs as well as catastrophic loss related to Hurricane Idalia.

Mr. Moses Clepper, 14581 102nd Path, thanked the County for their reduction in a road project cost and hoped that more projects would see money saved by the County. He also discussed concerns with the County's purchasing policy and bereavement leave that he had brought before the Board starting some four months before but had not heard of any updates. He asked the Board to find time to work on his concerns, realizing that there were other items that were of greater priority. Mr. Clepper expressed concerns with the price the County paid for its professional services, fuel, and other services.

Mr. Wayne Hannaka, 11883 93rd Road, asked for an update on the Regional Utility Group. Chairman White explained that the Regional Utility Group was a workgroup of three counties that was looking into pooling utility resources to save money on monitors and other shared costs.

The nineteenth item on the agenda was Administrator's comments and information.

County Administrator Scott thanked the public for their kind words on his Parks and Recreation award. He also discussed a Construction and Engineering Inspector (CEI) that had been hired several years before, but since then, changes had been made to how the County received its funds from the State. As a result, on-staff CEI could no longer perform the work. County Administrator Scott asked that the Board eliminate the County CEI position, effective November 3rd, and instead include the work as part of an engineering bid for various projects.

Brief discussion ensued on the change in State engineering procedures.

Commissioner Land moved to eliminate the County Construction and Engineering Inspector (CEI) position, effective November 3rd. Commissioner Mobley seconded, and the motion carried unanimously.

The twentieth item on the agenda was Board Members' inquiries, requests, and comments.

The Board thanked those present for attending the meeting and congratulated County Administrator Scott for his years of service with Parks and Recreation.

Commissioner Land thanked the Spirit of the Suwannee Music Park for accommodating displaced persons on their park property and explained to the City citizens that debris removal was handled through the State of Florida, not the County. He understood the citizens' concerns and noted that the issue was one found throughout the County.

Commissioner Hale reiterated Commissioner Land's comments.

Chairman White asked that the Robbie Suggs family be kept in prayers for his death from cancer and reiterated that the County could not afford to provide debris removal for the entire County. He asked for patience during the process.

The Board thanked the Suwannee High School Principal and staff for their help during Hurricane Idalia and its aftermath.

INFORMATIONAL ITEMS:

The twenty-first item on the agenda was information on the Suwannee County Florida Parks Open House Public Meeting.

Mr. Furry reminded the Board of a Florida Parks public meeting on October 16 between 2 and 6 p.m. at the Judicial Annex.

Commissioner Hale moved to adjourn the meeting. Commissioner Perkins seconded, and the motion carried unanimously.

There being no further business to discuss, the meeting adjourned at 7:13 p.m.

ATTEST:

_____, DC
BARRY A. BAKER
CLERK OF THE CIRCUIT COURT

FRANKLIN WHITE, CHAIRMAN
SUWANNEE COUNTY BOARD OF
COUNTY COMMISSIONERS

8:00 a.m.

The Suwannee County Board of County Commissioners met on the above date and time for special called meeting and the following were present: Chairman Franklin White; Commissioner Don Hale; Commissioner Maurice Perkins; and Commissioner Leo Mobley. Commissioner Travis Land was not present. Deputy Clerks Eric Musgrove and Logan Woods and County Administrator Greg Scott were also present.

Chairman White called the meeting to order at 8:09 a.m.

The first item on the agenda was renewal of a resolution declaring a Local State of Emergency due to Hurricane Idalia.

Commissioner Hale moved to approve renewal of a resolution declaring a Local State of Emergency due to Hurricane Idalia. Commissioner Perkins seconded, and the motion carried unanimously (4-0). (Resolution No. 2023-35-07)

The second item on the agenda was approval of Supplemental Agreement No. 2 with the Florida department of Transportation (FPN 438221-1-34-01) releasing surplus funding of \$344,846 on the design phase of the resurfacing of 76th Street from US 90 to River Road and adoption of an enabling resolution.

County Administrator Scott discussed the overage of funds for the design phase that cannot be used for anything other than design work. He discussed the supplemental agreement.

Commissioner Perkins moved to approve Supplemental Agreement No. 2 with the Florida department of Transportation (FPN 438221-1-34-01) releasing surplus funding of \$344,846 on the design phase of the resurfacing of 76th Street from US 90 to River Road and adoption of an enabling resolution. Commissioner Hale seconded, and the motion carried unanimously (4-0). (Agreement No. 2022-44-02 and Resolution No. 2024-05)

October 5, 2023
Special Called Meeting
Airport Conference Room
Live Oak, Florida

The third item on the agenda was approval of Supplemental Agreement No. 1 with the Florida Department of Transportation (FPN 441326-1-54-01) to add additional funds in the amount of \$280,375 for the design, construction, and construction engineering and inspection for the road reconstruction of 80th Terrace and 139th Drive from the end of the pavement to Mitchell Road and adoption of an enabling resolution, pending receipt of the amended agreement and review by the County Attorney.

Commissioner Hale asked for an estimate for the project and a potential start date. County Administrator Scott replied they were waiting on an approval letter to begin work from FDOT, but the bids had already been received. For 76th Street, they were waiting to begin the project until after the debris removal clean up, because they did not want to risk the clean-up trucks messing up the roads. However, once debris removal was complete, they could quickly start the work.

Commissioner Hale moved to approve Supplemental Agreement No. 1 with the Florida Department of Transportation (FPN 441326-1-54-01) to add additional funds in the amount of \$280,375 for the design, construction, and construction engineering and inspection for the road reconstruction of 80th Terrace and 139th Drive from the end of the pavement to Mitchell Road and adoption of an enabling resolution, pending receipt of the amended agreement and review by the County Attorney. Commissioner Mobley seconded, and the motion carried unanimously (4-0). (Agreement No. 2022-05-01 and Resolution No. 2024-06)

Commissioner Perkins moved to adjourn the meeting. Commissioner Mobley seconded, and the motion carried unanimously.

There being no further business to discuss, the meeting adjourned at 8:14 a.m.

ATTEST:

_____, DC
BARRY A. BAKER
CLERK OF THE CIRCUIT COURT

FRANKLIN WHITE, CHAIRMAN
SUWANNEE COUNTY BOARD OF
COUNTY COMMISSIONERS

8:00 a.m.

The Suwannee County Board of County Commissioners met on the above date and time for special called meeting and the following were present: Chairman Franklin White; Commissioner Don Hale; Commissioner Maurice Perkins; Commissioner Travis Land; and Commissioner Leo Mobley. Deputy Clerks Eric Musgrove and Logan Woods and County Administrator Greg Scott were also present.

Chairman White called the meeting to order at 8:05 a.m.

The first item on the agenda was renewal of a resolution declaring a Local State of Emergency due to Hurricane Idalia.

Commissioner Hale moved to renew a resolution declaring a Local State of Emergency due to Hurricane Idalia. Commissioner Perkins seconded. Mr. Moses Clepper asked if there were additional expenses incurred by the County because of the State of Emergency, and County Administrator Scott explained that the State of Emergency needed to be renewed because of uncertainties (especially debris removal) caused by the hurricane and the County could not risk losing reimbursement. **Further discussion ensued, and the motion carried unanimously. (Resolution No. 2023-35-08)**

Some discussion ensued on debris removal.

County Administrator Scott updated the Board on debris removal, noting that the Florida Department of Transportation and the debris removal company had a method to their collection, but the County was unaware of what it was.

Discussion continued and it was noted that the debris removal company would go through the County at least 3 times to make sure all hurricane-related debris was removed.

Commissioner Perkins added that most of the debris in Live Oak had been picked up.

County Administrator Scott stated that the City of Live Oak had hired Larry Sessions as permanent city manager, removing his temporary designation. He also stated that a countywide assessment of assets

damaged by Hurricane Idalia had been completed, and his office was working with the insurance company to determine coverage and reimbursement. County Administrator Scott also noted that an agricultural-related tour had been held on Monday that included several State senators and the Senate Majority Leader (incoming Senate President), and much had been presented to the State legislators.

Mr. Shannon Roberts, Digital Content Specialist, noted that the main issues with agriculture-related losses were measuring risk and who was vulnerable to damage, and the State and Federal governments had consistently under-valued the properties due to faulty data.

Discussion ensued over potential programs for farmers.

County Administrator Scott asked for ideas on how to move forward with a fire station on the north side of Live Oak and discussed the potential use of the old Jehovah's Witness church building property that was currently for sale. While the asking price of \$600,000 seemed to be high, if the Board wished to pursue that property, they could negotiate the price with the current owner.

Fire Chief Eddie Hand also discussed the Jehovah's Witness property, noting the current structure would be suitable for fire station quarters and that it would probably be cheaper to purchase an existing building to renovate rather than construct a new building.

Discussion ensued on the Jehovah's Witness property and fire station.

The Board agreed to further investigate the property and to see if the State funds previously set aside for the new fire station project could still be used at this different location.

County Administrator Scott noted that his office was continuing to review potential changes to the Purchasing and Personnel Policies, which would be brought before the Board at a future meeting for final approval. He also clarified that the Disaster Recovery Center was closing at the Coliseum but was simply moving to another venue at the Douglass Center. County Administrator Scott stated that County

staff had been working on a new County logo for some time and asked Economic Development Director Jimmy Norris to discuss it further.

Mr. Norris shared different versions of the proposed logo, which had been in the works for at least a year.

Commissioner Mobley left the meeting at 8:49 a.m.

Discussion ensued on the transition time required to move to the new logo.

Commissioner Mobley returned to the meeting at 8:51 a.m.

Mr. Norris noted that a ribbon-cutting was planned for the Hildreth Solar Farm on the following day, and the Business of the Year event would take place later tomorrow evening.

Commissioner Land moved to adjourn the meeting. Commissioner Perkins seconded, and the motion carried unanimously.

There being no further business to discuss, the meeting adjourned at 8:54 a.m.

ATTEST:

_____, DC
BARRY A. BAKER
CLERK OF THE CIRCUIT COURT

FRANKLIN WHITE, CHAIRMAN
SUWANNEE COUNTY BOARD OF
COUNTY COMMISSIONERS

Agenda Item No. 2

Approval of payment of processed invoices.

SUWANNEE COUNTY

Administration

Executive Summary

Objective:

Approval of renewal of resolution declaring the Local State of Emergency due to Hurricane Idalia.

Considerations:

Suwannee County declared a Local State of Emergency on Sunday, August 27, 2023, due to Hurricane Idalia.

Section 252.38(3)(a), Florida Statute empowers political subdivisions to declare a State of Local Emergency for a period of up to seven (7) days but may be extended, as necessary, in 7-day increments.

Suwannee County suffered substantial damage from Hurricane Idalia and will need to continue renewing the LSE until Suwannee County has been repaired to pre-storm condition.

Budget Impact:

N/A

Recommendation:

Staff respectfully requests that the Suwannee County Board of County Commissioners approve the renewal of the resolution declaring the Local State of Emergency due to Hurricane Idalia.

Respectfully submitted,

Greg Scott,
County Administrator

Dated: October 17, 2023

RESOLUTION 2023 - _____

A RESOLUTION OF THE BOARD OF COUNTY COMMISSIONERS OF SUWANNEE COUNTY, FLORIDA, DECLARING A LOCAL STATE OF EMERGENCY; AUTHORIZING AND DIRECTING THE SUWANNEE COUNTY EMERGENCY MANAGEMENT DIRECTOR TO TAKE WHATEVER PRUDENT ACTIONS AS MAY BE NECESSARY TO PROTECT THE HEALTH, SAFETY AND WELFARE OF THE RESIDENTS OF SUWANNEE COUNTY; WAIVING PROCEDURES AND FORMALITIES DURING THE PERIOD OF SUCH EMERGENCY PURSUANT TO THIS DECLARATION; APPOINTING COUNTY MANAGER AS AUTHORIZED AGENT FOR THE COUNTY; AND AUTHORIZING REPAIRS TO PUBLIC AND PRIVATE ROADS TO ENSURE SAFE TRAVEL FOR THE CITIZENS OF SUWANNEE COUNTY.

WHEREAS, Hurricane Idalia struck Suwannee County on Wednesday August 30, 2023. Hurricane Idalia caused significant damage to private and public property, critical infrastructure and the health and safety of the citizens of Suwannee County; and

WHEREAS, Hurricane Idalia caused damage to public and private roads via downed trees, erosion and other damage which compromises the life and property of citizens of Suwannee County; and

WHEREAS the damage caused by Hurricane Idalia is still being processed and more than 90% of the citizens of Suwannee County remain without power and other critical resources/infrastructure; and

WHEREAS, Section 252.38(3)(a), Florida Statutes empowers political subdivisions to declare a State of Local Emergency for a period of up to seven (7) days, but may be extended, as necessary, in 7-day increments; and

WHEREAS, Governor Ron Desantis has issued Executive Order Number 23-171 which proclaim that a State Of Emergency exists in over 33 counties in Florida including Suwannee County; and

WHEREAS, Section 252.38(3)(a), Florida Statutes empowers political subdivisions to waive the procedures and formalities otherwise required by law pertaining to:

1. Performance of public work and taking whatever prudent action is necessary to ensure the health, safety and welfare of the community;
2. Entering into contracts;
3. Incurring obligations;
4. Employment of permanent and temporary workers;
5. Utilization of voluntary workers;
6. Rental of equipment;
7. Acquisition and distribution with or without compensation of supplies, material and facilities; and
8. Appropriation and expenditure of public funds; and

WHEREAS, Section 501.160, Florida Statutes, prohibits price gouging in a declared State of Emergency.

BE IT THEREFORE RESOLVED by the Board of County Commissioners for Suwannee County, Florida, pursuant to Section 252.38(3)(a), Florida Statutes, as follows

Section 1. A State of Emergency exists in Suwannee County, Florida.

Section 2. The County's Emergency Management Director shall coordinate all emergency management activities as may be prudent and necessary to protect the health, safety and welfare of the residents of Suwannee County and all County agencies are directed to provide any assistance necessary under the authority of Florida Statute 252 and the Suwannee County Comprehensive Emergency Management Plan.

Section 3. The normal procedures and formalities required by law are hereby waived during the declared period of emergency, and any extension thereof, as they pertain to:

- a. Performance of public work and taking whatever prudent action is necessary to ensure the health, safety and welfare of the community;
- b. Entering into contracts;
- c. Incurring obligations;
- d. Employment of permanent and temporary workers;
- e. Utilization of voluntary workers;
- f. Rental of equipment;
- g. Acquisition and distribution with or without compensation of supplies, material and facilities; and
- h. Appropriation and expenditure of public funds.

Section 4. During the pendency of the state of emergency, the County Administrator is the authorized agent of the County and shall have full authority to execute any of the contracts or obligations contemplated by Section 3 on behalf of the County.

Section 5. During the pendency of the emergency the County shall repair roads in the county – be they public or private – as may be necessary to protect the life and property of the citizens of Suwannee County. Such expenditures serve a valid public purpose during the emergency by ensuring that Suwannee County citizens can safely travel throughout the county, but most importantly to their homes, businesses, and places of worship.

Section 6. This resolution is an extension of Suwannee County Resolution 2023-35 and all powers and findings made herein shall apply *nunc pro tunc* to the date Suwannee County Resolution 2023-35 was adopted.

(REMAINDER OF PAGE LEFT INTENTIONALLY BLANK)

Section 7. This emergency declaration shall be in full force and effect from its adoption herein of:
Time _____ Date: _____, 2023 and shall be valid for seven (7)
days unless extended.

ADOPTED this _____ day of September, 2023

**BOARD OF COUNTY COMMISSIONERS
SUWANNEE COUNTY, FLORIDA**

**Franklin White
Chairman**

Attest:

**BARRY A. BAKER
Clerk of Court**

SUWANNEE COUNTY

Administration

Executive Summary

Objective:

Approval of Funding Agreement between Suwannee County and Meridian Healthcare, Inc.

Considerations:

The funding agreement will provide funds to Meridian Behavioral Healthcare, Inc. consistent with the requirements of Florida Statute 394.76 for the provision of general mental health, and substance use services, including Baker Act services to the citizens of Suwannee County.

Budget Impact:

\$64,111 has been budgeted for Fiscal Year 2023-2024

Recommendation:

Staff respectfully requests Suwannee County Board of County Commissioners approve the Funding Agreement between Suwannee County and Meridian Healthcare, Inc. in the amount of \$64,111.

Respectfully submitted,

Greg Scott,
County Administrator

Dated: October 17, 2023

BOARD OF COUNTY COMMISSIONERS

SUWANNEE COUNTY

**FUNDING AGREEMENT FOR THE PROVISION OF MENTAL HEALTH,
BAKER ACT AND ADDICTION SERVICES**

THIS AGREEMENT entered into this ____ day of _____, 2023, by and between the **Board of County Commissioners of Suwannee County**, hereinafter referred to as the "Commission," and **Meridian Behavioral Healthcare, Inc.**, an independent contractor, hereinafter referred to as "MBH".

For and in consideration of the mutual undertaking and agreements hereinafter set forth, the Commission and MBH agree as follows:

1. The Commission Agrees:

A. To provide funds to MBH consistent with the requirements of Florida Statute (§394.76) for the provision of general mental health, and substance use services, including Baker Act services to the citizens of Suwannee County in the amount of \$64,111. This sum is for the fiscal year beginning October 1, 2023 and ending September 30, 2024, and the Commission's allocation to operate the program and facilities for services for citizens of Suwannee County.

B. To release such funds in the amount of \$16,027.75 per quarter, upon receipt of an invoice due on the first day of each quarter.

2. MBH Agrees:

A. To provide mental health and substance use services, including Baker Act services to the citizens of Suwannee County.

B. To provide services to any person and ensure that no service will be denied and/or delayed to any person because of race, creed, color, national origin, sex, age or ability to pay.

C. To ensure that all information regarding clients be safeguarded in accordance with 45 C.F.R. § 205.50.

D. To comply with the provisions contained in the Civil Rights certificate.

E. To provide, monitor, evaluate, and audit all programs funded under the terms of this agreement according to Federal and C&F guidelines, rules, regulations, instructions, and the approved C&F Plan.

F. Any funds expended in violation of this agreement or in violation of appropriate Federal and State requirements, or any funds claimed by MBH which are determined by the Commission to be in violation of appropriate departmental or federal guidelines shall be

SUWANNEE COUNTY DONATED SPACE AGREEMENT 2023-2024

**For the provision of
Alcohol, Substance Abuse and Mental Health Services
Between
Meridian Behavioral Healthcare, Inc.
And the
Suwannee County Board of County Commissioners**

THIS AGREEMENT entered into by and between the Board of County Commissioners of Suwannee County, hereinafter referred to as the "Commission", and the Meridian Behavioral Healthcare, Inc., hereinafter referred to as the "Center".

FOR AND IN CONSIDERATION of the mutual undertakings and agreements hereinafter set forth, the Commission and the Center agree as follows:

A. The Commission Agrees

I. To make available the premises located at:

The Suwannee County Services Building, located off Nobles Ferry Road; Live Oak, Florida 32060.

Comprising a total of 3647 square feet, including utilities for a term of twelve months from the 1st day of October 2023, to the 30th day of September 2024.

The Commission agrees to donate this space to the Center at no charge in accordance with the conditions in items "B" and "C" as follows:

The value of this space is estimated at \$15.52 per square foot with a total value of \$56,600.

B. The Center Agrees

- 1. To provide alcoholism, substance abuse, and mental health services to the citizens of Suwannee County as specified in the approved DC&F Mental Health District Plan.**
- 2. To provide services to any person and ensure that no service will be denied and/or delayed to any person because of race, color, creed, national origin, sex, age or ability to pay.**
- 3. To ensure that all information regarding clients be safeguarded in accordance with 45 CFR 205.50.**

4. To comply with Title VI of the Civil Rights Act of 1964 as amended in regards to persons served, employees or applicants for employment.
5. To monitor, evaluate and audit all programs made available in the terms of this agreement according to Federal and Department of Children and Families' guidelines, rules, regulations, instructions, and the approved DC&F Mental Health, Alcohol and Drug Abuse District Plan.
6. To retain all fiscal and client books, records, or other documents relative to this agreement for five (5) years, until audits or resolutions of audit findings by County Auditors.
7. To provide an opportunity for recipients of services to present their views about the service program and also establish a system through which clients may present reasonable grievances about the delivery of services under this agreement. Such system shall include provision for fair hearing.
8. To negotiate sub-agreements and be responsible for the execution of sub-agreements pursuant to this agreement. Such sub-agreements may be reviewed by the Commission and if they are found not to be in compliance with the provision of this agreement, they shall be subject to revision by the Center.

C. The Center and the Commission Mutually Agree

1. Term

This Agreement shall begin on the 1st day of October, 2023, at 12:01 a.m., and end on the 30th day of September, 2024, at midnight.

2. Termination

This Agreement, or part of this Agreement, may be terminated with or without cause, by either party, at any time, upon no less than thirty (30) days notice in writing to the other party. Said notice shall be delivered by Certified Mail, telegram or in person with proof of delivery.

3. Modifications

Any alterations, variations, modifications and waivers of provisions of this agreement shall be valid only when they have been reduced to writing, duly signed by all parties to the agreement and attached to the original agreement. This agreement contains all terms and conditions agreed upon by the Parties. No other agreements, oral or otherwise regarding the subject matter of this agreement shall be deemed to exist or to bind any of the Parties thereto.

4. Use and Profession

It is understood that the donated premises are to be used for counseling and office spaces, and for no other purpose without prior written consent of the Commission. The Center shall not use the premises for any unlawful purpose or in any manner which may constitute a nuisance. The Commission covenants and agrees to have the premises completed and ready for possession on or before the above commencement date, barring strikes, insurrections, acts of God and other casualties or unforeseen events beyond the control of the Center, reasonable use, ordinary decay, wear and tear excepted.

5. Services

Commission covenants and agrees to furnish the Center premises with heating and air conditioning, reasonable trash removal, and furnish, supply and maintaining building common areas and restroom facilities, including hot and cold water and sewer disposal in the buildings in which the Center is located, at the Commission's expense, unless otherwise agreed to in this contract. Commission shall provide a reasonable amount of free parking for Center employees and visitors on Commission parking area adjacent to the building in which the premises are situated. Commission agrees to maintain the interior of the building for comfortable use but not including janitorial services and occupancy by the Center. It is further agreed that the Commission shall be responsible for grounds and maintenance.

6. Alterations

Center, by occupancy hereunder, accepts the premises as being in good repair and condition. Center shall maintain premises and every part thereof in good repair and condition, damages by causes beyond the control of the Center, reasonable use, ordinary decay, and wear and tear excepted. Center shall not make or suffer to be made any alterations, additions, or improvements to or of the premises or any part thereof without prior written consent of the Commission. Such consent the Commission covenants and agrees shall not be unreasonably withheld.

7. Commission's Right to Inspect and Display

The Commission shall have the right, at reasonable times during the term of this contract, to enter the premises for the purpose of examining or inspecting same and of making such repairs or alterations therein as the Commission shall deem necessary. The Commission shall also have the right to enter the premises at all reasonable hours for the purpose of displaying said premises to prospective tenants within ninety (90) days to termination of this contract.

8. Destruction of Premises

- a. If the donated premises are substantially destroyed by fire or other casualties, the Commission and the Center shall each have the option of terminating this contract or any renewal thereof, upon giving written notice within thirty (30) days from date of such destruction.
- b. If such premises are partially damaged by fire or other casualty, or totally destroyed thereby and neither party elects to terminate this contract within the provisions of paragraph "a" above or "c" below, then the Commission agrees, at Commission's sole cost and expense, to restore the premises to a kind and quality substantially similar to that immediately prior to such destruction or damage. Said restoration shall be commenced within a reasonable time and completed without delay on the part of the Commission and in any event shall be accomplished within one hundred fifty (150) days from the date of the fire or other casualty.
- c. If the Commission undertakes to restore, rebuild or repair the premises, and such restoration, rebuilding or repair is not accomplished within one hundred fifty (150) days, and such failure does not result from causes beyond the control of the Commission, the Center shall have the right to terminate this contract by written notice to the Commission within thirty (30) days after expiration of said one hundred fifty (150) day period.

9. Indemnification

The Center shall provide liability insurance on said leased premises at the minimum of One Hundred Thousand Dollars (\$100,000.00) covering both Parties. A certificate of such liability insurance shall be furnished to Commission. Center further agrees to hold Commission harmless from any loss, injury or other damage arising out of the premises where such injury occurs because of the occupation of the premises by the Center.

10. Ordinances and Regulations

This contract hereby covenants and agrees to comply with all rules and regulations of the Board of Fire Underwriters, Officers of Board of the City, County or State having jurisdiction over the premises, and with all ordinances and regulations of governmental authorities wherein the premises are located at Center's sole cost and expense, but only insofar as any such rules, ordinances and regulation pertain to the manner in which the Center shall use the premises. The obligation to comply in every other case, and also all cases where such rules, regulations, and ordinances require repairs, alterations, changes or additions to the building or building equipment, or any part of either, is being hereby expressly assumed by Commission, and Commission covenants and

SUWANNEE COUNTY

Administration

Executive Summary

Objective:

Approval of Locklear & Associates (L&A) consulting services proposal for critical infrastructure vulnerability assessment

Considerations:

- L&A have developed critical infrastructure assessment workplans and have performed several vulnerability assessments for other counties that were funded by DEP Resiliency Grants
- The company is currently under contract with the county to provide various engineering and design services
- L&A have proposed to perform the vulnerability assessment services for \$190,000 which is \$20,000 less than grant funding of \$210,000.

Budget Impact:

- No budget impact

Recommendation:

- Respectfully request the Board to approve L&A proposal to perform the critical infrastructure assessment
- L&A to prepare a task order under the existing MSA
- County Administrator will bring draft task order back to the Board for review

Respectfully submitted,

Greg Scott,

County Administrator



TEL (352) 672-6867

FAX (352) 692-5930

4140 NW 37th Place, Suite A,
Gainesville, FL 32606
www.locklearconsulting.com

September 25, 2023

Mr. Greg Scott
Suwannee County Administrator
13150 80th Terrace
Live Oak, FL 32060

**RE: Proposal to Provide Engineering Services
Comprehensive Vulnerability Assessment**

Dear Mr. Scott:

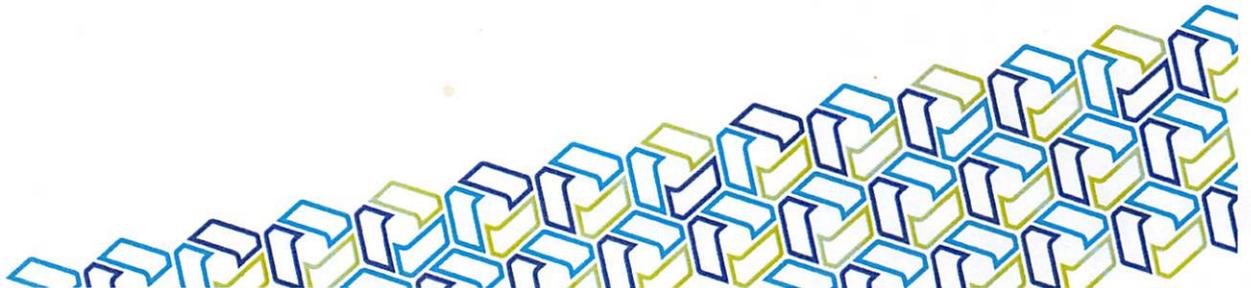
Locklear & Associates, Inc. (L&A) is pleased to present this proposal for professional services (Proposal) to Suwannee County, Florida (County). This proposal describes the professional engineering services to be provided by L&A to perform a comprehensive vulnerability assessment in accordance with Section 380.093, Florida Statutes. The project is fully funded through grant agreement #23PLN68 with the Florida Department of Environmental Protection (FDEP).

SCOPE OF SERVICES

Task 1: Kick Off Meeting

Description: L&A will develop an overall project management plan and address initial actions and then conduct a kick-off meeting for the project. Meeting attendees will discuss the project scope, project goals, schedule, key milestones, and deliverables in order to develop a consistent project approach. The kick-off meeting will be hosted by the County and L&A and will identify potential representatives to serve on the project steering committee. Prior to the meeting, the L&A will prepare the sign-in sheet, draft project schedule, and other meeting materials as necessary. L&A will prepare a draft list of representatives to serve on the project steering committee based on discussions with the Grantee. It is recommended that the committee be limited to no more than 10 representatives to better manage meeting outcomes.

Deliverables: L&A will provide the following: 1) a draft list of steering committee members; 2) kick-off meeting minutes, which documents all decisions and agreed upon outcomes of the



meeting; and 3) a draft email to potential steering committee members to request their participation on the committee. The email shall include the project purpose, goals, schedule, project meeting dates and locations, and overall desired outcomes.

Task 2: Assemble Steering Committee

Description: L&A, in coordination with the County, will review and approve the steering committee list and then distribute the draft email prepared in Task 1 to the steering committee members. The email requests steering committee member participation and to provide confirmation of acceptance or denial.

Deliverables: L&A will provide the list of local representatives that have confirmed participation on the steering committee. The list will include the name, organization/affiliation, position title, and contact information.

Task 3: Conduct Steering Committee Meetings

Description: L&A will coordinate and schedule the quantity, dates, times, and locations for the steering committee meetings, based on critical decision points in the project process. The purpose of the steering committee meetings is to assist in reviewing the goals of the project, review draft materials, provide input for study direction, assist in identifying geographic context, appropriate modeling methodologies, assist in identifying available data and resources, identify relevant assets, and review project findings and recommendations. A minimum of two steering committee meetings will be held, at the beginning and end of the project, however, more may be necessary to provide guidance at critical decision points throughout the project process.

Deliverables: L&A will provide the following: 1) meeting agendas to include location, date, and time of meeting; 2) meeting sign-in sheets with attendee names and affiliation; 3) a copy of the presentation(s) and any materials created for distribution at the meeting, as applicable; and 4) a summary report of committee recommendations and guidance, to include attendee input, meeting outcomes, methodologies selected, appropriate resources and data, relevant assets and review of study deliverables for accuracy and applicability.

Task 4: Public Outreach Meeting #1

Description: L&A will conduct at least two public outreach meetings during the project. The purpose of the first meeting is to allow the public to provide input during the initial data collection stages, to include input on preferred methodologies, data for analyzing potential sea level rise impacts and/or flooding, guiding factors to consider, and critical assets important to the community. L&A will work with the County to prepare all social media notifications, meeting invitations, meeting materials, presentations, and graphics utilized during the meeting, as applicable.

Deliverables: L&A will provide the following: 1) meeting agendas to include location, date, and time of meeting; 2) meeting sign-in sheets with attendee names and affiliation (i.e. local stakeholder, resident, steering committee member, local government staff); 3) a copy of the presentation(s) and any materials created in preparation of or for distribution at the meeting (i.e. social media posts, public announcements, graphics), as applicable; 4) a copy of the file or weblink of the video or audio recording from the meeting, if applicable; and 5) a summary report including attendee input and meeting outcomes.

Task 5: Acquire Background Data

Description: L&A will research and compile the data needed to perform the VA based on the requirements as defined in Section 380.093, F.S. Three main categories of data are required to perform a VA: 1) critical and regionally significant asset inventory, 2) topographic data, and 3) flood scenario-related data. GIS metadata should incorporate a layer for each of the four asset classes as defined in paragraphs 380.093(2)(a)1-4, F.S. GIS files and associated metadata must adhere to the Resilient Florida Program's GIS Data Standards (Exhibit I), and raw data sources shall be defined within the associated metadata. Sea level rise projection data shall include the 2017 National Oceanic and Atmospheric Administration (NOAA) intermediate-high and intermediate-low projections for 2040 and 2070, at a minimum. Other projections can be used at the Grantees discretion. Storm surge data used must be equal to or exceed the 100-year return period (1% annual chance) flood event. In the process of researching background data, the Grantee shall identify data gaps, where missing data or low-quality information may limit the VA's extent or reduce the accuracy of the results. The Grantee shall rectify any gaps of necessary data.

Deliverables: L&A will provide the following: 1) a technical report to outline the data compiled and findings of the gap analysis; 2) a summary report to include recommendations to address the identified data gaps and actions taken to rectify them, if applicable; and 3) GIS files with appropriate metadata of the data compiled, to include locations of critical assets owned or maintained by the County as well as regionally significant assets that are classified and as defined in paragraphs 380.093(2)(a) 1-4, F.S.

Task 6: Exposure Analysis

Description: L&A will perform an exposure analysis to identify the depth of water caused by each sea level rise, storm surge, and/or flood scenario. The water surface depths (i.e. flood scenarios) used to evaluate assets shall include the following data: tidal flooding, current and future storm surge flooding, rainfall-induced flooding, and compound flooding, all as applicable, as well as the scenarios and standards used for the exposure analysis shall be pursuant to s. 380.093, F.S.

Deliverables: L&A will provide the following: 1) a draft Vulnerability Assessment report that provides details on the modeling process, type of models utilized, and resulting tables and maps illustrating flood depths for each flood scenario; and 2) GIS files with results of the exposure

analysis for each flood scenario as well as the appropriate metadata that identifies the methods used to create the flood layers.

Task 7: Sensitivity Analysis

Description: L&A will perform the sensitivity analysis to measure the impact of flooding on assets and to apply the data from the exposure analysis to the inventory of critical assets created in the Acquire Background Data Task. The sensitivity analysis should include an evaluation of the impact of flood severity on each asset class and at each flood scenario and assign a risk level based on percentages of land area inundated and number of critical assets affected.

Deliverables: L&A will provide the following: 1) an updated draft Vulnerability Assessment report that provides details on the findings of the exposure analysis and the sensitivity analysis and includes visual presentation of the data via maps and tables, based on the statutorily-required scenarios and standards; and 2) an initial list of critical and regionally significant assets that are impacted by flooding. The list of critical and regionally significant assets must be prioritized by area or immediate need and will identify which flood scenario(s) impacts each asset.

Task 8: Public Outreach Meeting #2

Description: L&A will conduct a second public meeting to present the results from the exposure analysis, sensitivity analysis, and draft Vulnerability Assessment. The purpose of the second meeting is to allow the public to provide community-specific input on the results of the analyses and to reconsider methodologies and assumptions used in the analysis for refinement. Additionally, during this meeting, L&A will conduct exercises to encourage the public to prioritize focus areas of flooding, and the critical assets in preparation for the development of adaptation strategies and project development. Criteria should be established to guide the public's input for the selection of focus areas. L&A will work with the County to prepare all social media notifications, meeting invitations, meeting materials, presentations, and graphics utilized during the meeting, as applicable.

Deliverables: L&A will provide the following: 1) meeting agendas to include location, date, and time of meeting; 2) meeting sign-in sheets with attendee names and affiliation (i.e. local stakeholder, resident, steering committee member, local government staff); 3) a copy of the presentation(s) and any materials created in preparation of or for distribution at the meeting (i.e. social media posts, public announcements, graphics), as applicable; 4) a copy of the file or weblink of the video or audio recording from the meeting, if applicable; and 5) a summary report including attendee input and meeting outcomes, to include defining focus areas recommended by the community.

Task 9: Final Vulnerability Assessment Report, Maps, and Tables

Description: L&A will finalize the Vulnerability Assessment (VA) report pursuant to the requirements in s. 380.093, F.S., and based upon the steering committee and public outreach efforts. The final VA will include all results from the exposure and sensitivity analyses, as well as a summary of identified risks. It should contain a list of critical and regionally significant assets that are impacted by flooding and sea-level rise, specifying for each asset the flood scenario(s) impacting the asset.

Deliverables: L&A will provide the following: 1) Final Vulnerability Assessment Report that provides details on the results and conclusions, including illustrations via maps and tables, based on the statutorily-required scenarios and standards in s. 380.093, F.S.; 2) a final list of critical and regionally significant assets that are impacted by flooding. The list of critical and regionally significant assets must be prioritized by area or immediate need and must identify which flood scenario(s) impacts each asset.; 3) all electronic mapping data used to illustrate flooding and sea level rise impacts identified in the VA, to include the geospatial data in an electronic file format and GIS metadata; and 4) a signed Vulnerability Assessment Compliance Checklist Certification.

Task 10: Public Presentation

Description: L&A will present the final VA results to local governing boards, technical committees, or other appropriate officers and elected officials. The purpose of the presentation is to share the findings from the final VA and provide recommendations of actions for adaptation strategies and future project funding. The presentation will also inform the public of the results and the future risk of sea level rise and increased flooding and encourage community participation when identifying mitigation strategies to address the flooding vulnerabilities. L&A will work with the County to prepare all social media notifications, meeting invitations, meeting materials, presentations, and graphics utilized during the meeting, as applicable.

Deliverables: L&A will provide the following: 1) meeting agendas to include location, date, and time of meeting; 2) meeting sign-in sheets with attendee names and affiliation (i.e. local stakeholder, resident, steering committee member, local government staff); 3) a copy of the presentation(s) and any materials created in preparation of or for distribution at the meeting (i.e. social media posts, public announcements, graphics), as applicable; 4) a copy of the file or weblink of the video or audio recording from the meeting, if applicable; and 5) a summary report including attendee input and meeting outcomes.

Task 11: Local Mitigation Strategy

Description: The results of the Vulnerability Assessment can be used to inform a Local Mitigation Strategy (LMS) as required by the Florida Division of Emergency Management (FDEM). The LMS is usually developed at the county level and serves to reduce the risks associated with natural and man-made disasters, including sea level rise. L&A will work with the Local Mitigation Strategy Working Group (LMSWG) to ensure the Vulnerability Assessment Report is in alignment with the

existing county LMS Plan and will be utilized during the planning process of future county LMS Plan updates.

Deliverables: L&A will work with the County to submit a letter to the Department and FDEM Mitigation Bureau Planning Unit, signed by the LMSWG Chair, or Designee, to include the following: 1) Vulnerability Assessment Report will be incorporated as a reference in updating the next iteration of the LMS Plan, i.e., utilized in the next five-year update; 2) Vulnerability Assessment Report will be included as an appendix to the next iteration of the LMS Plan; and 3) the entity/entities that composed the VA report will be involved with the LMSWG through any of the following: at a minimum, be added to the contact list, attend meetings, participate in the planning process of the next major update; participate in the adoption of the LMS plan; and submit projects to the LMSWG to be included on LMS Prioritized Project List.

SCHEDULE

L&A will complete the workscope defined herein prior to March 31, 2025, in accordance with the FDEP Grant Work Plan.

FEES

L&A will provide the services defined herein for a lump sum fee of \$190,000. Invoices, including all required supporting documentation, will be provided on a monthly basis in accordance with the FDEP Grant Work Plan.

We appreciate the opportunity to be of service to you and the citizens of Suwannee County. If you have any questions, please call me at 352-672-6867.

Sincerely,



John Locklear, P.G.
Owner/President
Locklear & Associates, Inc.

SUWANNEE COUNTY

Administration

Executive Summary

Objective:

Approval of Supplemental Agreement No. 1 with the Florida Department of Transportation (FPN 443415-1-34-01) and adoption of enabling resolution.

Considerations:

The original encumbered amount with FDOT is \$700,000.

The engineering agreement with Pitman Engineering is in the amount of \$404,405.

Supplemental Agreement No. 1 will release surplus funding of \$295,595 for the design phase of project CR49.

The funds for this project can only be used for the design phase.

Budget Impact:

N/A

Recommendation:

Approval of Supplemental Agreement No. 1 with the Florida Department of Transportation (FPN 443415-1-34-01) releasing surplus funding of \$295,595 on the design phase of project CR49 and adoption of enabling resolution.

Respectfully submitted,

Dated: October 11, 2023

Greg Scott,
County Administrator

**STATE-FUNDED GRANT
SUPPLEMENTAL AGREEMENT**

SUPPLEMENTAL NO.

1

CONTRACT NO.

G2J50

FPN

443415-1-34-01

Recipient: Suwannee County

This Supplemental Agreement ("Supplemental"), dated _____ arises from the desire to supplement the State-Funded Grant Agreement ("Agreement") entered into and executed on 05/03/2023 as identified above. All provisions in the Agreement and supplements, if any, remain in effect except as expressly modified by this Supplemental.



The parties agree that the Agreement is to be amended and supplemented as follows:

Suwannee County is releasing surplus funding of \$295,595 on the design phase of this project. The Department will reduce the original encumbered amount of \$700,000 by \$295,595, leaving a balance of \$404,405.

Reason for this Supplemental and supporting engineering and/or cost analysis:

The design phase of this project was contracted for \$404,405, a lesser amount than the allotted funding of \$700,000.

IN WITNESS WHEREOF, the parties have caused these presents to be executed the day and year first above written.

RECIPIENT:
Suwannee County

STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION

By: _____

Name: Franklin White
Title: Chairman

By: _____

Name: Greg Evans
Title: District Secretary

Legal Review:



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
STATE-FUNDED GRANT AGREEMENT

EXHIBIT B
SCHEDULE OF FINANCIAL ASSISTANCE

RECIPIENT NAME & BILLING ADDRESS: Suwannee County 13150 80 th Terrace Live Oak, FL 32060		FINANCIAL PROJECT NUMBER: 443415-1-34-01			
PHASE OF WORK by Fiscal Year:		MAXIMUM PARTICIPATION			Indicate source of Local funds
		(1) TOTAL PROJECT FUNDS	(2) LOCAL FUNDS	(3) STATE FUNDS	
Design- Phase 34	Maximum Department Participation (Insert Program Name)	\$	\$	\$	<input type="checkbox"/> In-Kind <input type="checkbox"/> Cash
FY:	Maximum Department Participation (Insert Program Name)	\$	\$	\$	<input type="checkbox"/> In-Kind <input type="checkbox"/> Cash
Total Design Cost		\$ 0.00 %	\$ 0.00 %	\$ 0.00 %	
Right-of-Way- Phase 44	Maximum Department Participation (Insert Program Name)	\$	\$	\$	<input type="checkbox"/> In-Kind <input type="checkbox"/> Cash
FY:	Maximum Department Participation (Insert Program Name)	\$	\$	\$	<input type="checkbox"/> In-Kind <input type="checkbox"/> Cash
Total Right-of-Way Cost		\$ 0.00 %	\$ 0.00 %	\$ 0.00 %	
Construction- Phase 54	Maximum Department Participation (Insert Program Name)	\$	\$	\$	<input type="checkbox"/> In-Kind <input type="checkbox"/> Cash
FY:	Maximum Department Participation (Insert Program Name)	\$	\$	\$	<input type="checkbox"/> In-Kind <input type="checkbox"/> Cash
Total Construction Cost		\$ 0.00 %	\$ 0.00 %	\$ 0.00 %	
Construction Engineering and Inspection - Phase 64	Maximum Department Participation (Insert Program Name)	\$	\$	\$	<input type="checkbox"/> In-Kind <input type="checkbox"/> Cash
FY:	Maximum Department Participation (Insert Program Name)	\$	\$	\$	<input type="checkbox"/> In-Kind <input type="checkbox"/> Cash
Total Construction Engineering and Inspection Cost		\$ 0.00 %	\$ 0.00 %	\$ 0.00 %	
(Phase : Design 34-01)	Maximum Department Participation (Small County Road Asst Program)	\$700,000.00	\$	\$700,000.00	<input type="checkbox"/> In-Kind <input type="checkbox"/> Cash
FY: 2023	Maximum Department Participation (Small County Road Asst Program)	-\$295,595.00	\$	-\$295,595.00	<input type="checkbox"/> In-Kind <input type="checkbox"/> Cash
Total Cost		\$404,405.00 %	\$ 0.00 %	\$404,405.00 %	
TOTAL COST OF THE PROJECT		\$404,405.00	\$ 0.00	\$404,405.00	

COST ANALYSIS CERTIFICATION AS REQUIRED BY SECTION 216.3475, FLORIDA STATUTES:

I certify that the cost for each line item budget category has been evaluated and determined to be allowable, reasonable, and necessary as required by Section 216.3475, F.S. Documentation is on file evidencing the methodology used and the conclusions reached.

Lauri Shubert
 District Grant Manager Name

 Signature Date

Shubert, Lauri

From: Mandy Frederickson <MandyF@SUWCOUNTYFL.GOV>
Sent: Tuesday, October 10, 2023 10:24 AM
To: Shubert, Lauri
Cc: Greg Scott; Brenda Flanagan
Subject: 443415-1-34-01 CR 49

EXTERNAL SENDER: Use caution with links and attachments.

Good morning, Mrs. Lauri,

Suwannee County requests the release of surplus funding in the amount of \$295,595 from Project No. 443415-1-34-01, CR 49 design of widening/resurfacing existing lanes CR49 from CR252 to US 90.

If you have any questions or need additional information, please do not hesitate to contact our office.

Thank you,

Mandy Frederickson

Suwannee County Board of
County Commissioners

[13150 80th Terrace](#)

[Live Oak, Florida 32060](#)

Phone: (386) 362-2460

Fax: (386) 362-1032

www.suwanneecountyfl.gov

Please Note: Florida has a very broad Public Records Law. Most written communications to or from State and Local Officials and agencies regarding State or Local business are public records available to the public and media upon request. Your email communications, including your email address, may therefore be subject to public disclosure. Confidentiality Notice: This message and any attachments are for the sole use of the intended recipient(s) and may contain confidential and privileged information that is exempt from public disclosure. Any unauthorized review, use, disclosure, or distribution is prohibited. If you have received this message in error, please contact the sender (by phone or reply by email) and then destroy all copies of the original message.

SUWANNEE COUNTY RESOLUTION NO. 2024 - _____

A RESOLUTION CONCERNING REIMBURSEMENT AGREEMENT SUPPLEMENTAL AGREEMENT # 1 FOR THE DESIGN OF WIDENING/RESURFACING EXISTING LANES OF CR49 FROM CR252 TO US90 SUWANNEE COUNTY, FLORIDA. FINANCIAL PROJECT ID: 441326-1-54-01.

WHEREAS, the Florida Department of Transportation and Suwannee County, Florida, entered into a Reimbursement Agreement on May 3, 2023, for the design of widening/resurfacing existing lanes of CR49 from CR252 to US90 hereinafter referred to as "Project"; and

WHEREAS, Suwannee County is releasing surplus funding of \$295,595 on the design phase of this project; and

WHEREAS, the Florida Department of Transportation has agreed through Supplemental Agreement #1 to reduce the original encumbered amount of \$700,000 by \$295,595, leaving a balance of \$404,405; and

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners of Suwannee County, Florida, that

1. The Chairperson whose name and signature appears on the referenced Contractual Agreement or Memorandum is the current duly elected Chairperson of the Suwannee County, Florida, Board of County Commissioners authorized to execute documents on behalf of the Board, and the signature is inscribed thereon consequence to an official action and approval of said Board of County Commissioners by a majority vote in an open public meeting, all as provided for in Chapter 125 Florida Statutes.
2. The current duly elected Clerk of the Circuit Court for Suwannee County, Florida, and/or his or her duly appointed Deputy Clerks whose name(s) and signature(s) appear thereon in attestation of the signature of the Chairperson of the Board of County Commissioners, are Ex Officio Clerk to the Board of County Commissioners and are authorized and required to provide such attestation as provided in Article V, Section 16 and Article VIII, Section 1 (d) of the Florida Constitution, and Chapter 28.12 and Chapter 125.17 of the Florida Statutes and are the custodians of the Suwannee County Board of County Commissioners' Seal and, may attest, certify, and provide copies of any such Board Documents. Such documents are authenticated by the Clerk's and/or Deputy's signature and application of the Board's Seal as provided by law.

ADOPTED this 17th day of October 2023.

ATTEST:

**BOARD OF COUNTY COMMISSIONERS
SUWANNEE COUNTY, FLORIDA**

Barry A. Baker, Clerk of Court

Franklin White, Chairman

SUWANNEE COUNTY RESOLUTION NO. 2024 - _____

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ADOPTED this 17th day of October 2023.

ATTEST:

**BOARD OF COUNTY COMMISSIONERS
SUWANNEE COUNTY, FLORIDA**

Barry A. Baker, Clerk of Court

Franklin White, Chairman



Suwannee River Economic Council, Inc.

**Post Office Box 70
Live Oak, Florida 32064**

Administrative Office - Phone (386) 362-4115

Fax (386) 362-4078

E-Mail: mattpearson@suwanneec.net

Website: www.srecinc.org

October 12, 2023

Mr. Greg Scott
Suwannee County Administrator
13150 80th Terrace
Live Oak FL 32064

RE: Valarie Osborn

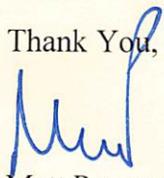
Dear Mr. Scott:

Enclosed are two checks from State Farm Insurance for a claim on Ms. Osborn's homeowner's insurance policy, as well as documentation from State Farm Insurance about the claim.

Ms. Osborn purchased the home with financial assistance from the Suwannee County SHIP program in 2020. A copy of the recorded SHIP Lien Agreement is attached. Since the SHIP Lien is still active, the insurance company has made the claim check payable to Ms. Osborne and the Suwannee County Board of County Commissioners.

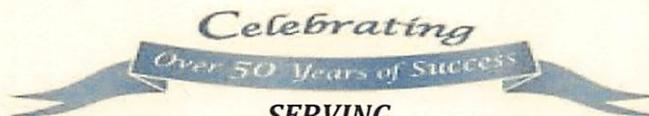
Once the County has endorsed the back of each check, please return them to us and we will reach out to Ms. Osborn to let her know she can pick them up from our office. In the meantime, if you have any questions please feel free to contact Stephanie Barrington, SHIP Director, at extension *242.

Thank You,



Matt Pearson
MP/ssb

Enclosures



SERVING

BRADFORD-COLUMBIA-DIXIE-GILCHRIST-HAMILTON-LAFAYETTE-LEVY-MADISON-PUTNAM-SUWANNEE-TAYLOR-UNION

"This institution is an equal opportunity provider and employer."

Funded in part through a grant by the State of Florida Department of Elder Affairs

SUWANNEE COUNTY, STATE OF FLORIDA
I hereby certify that the above is a true and correct copy of the original document as REFLECTED in the Official Records.
This 7th day of May 20 20
Barry A. Baker, Clerk of Court
By *[Signature]*



**LIEN AGREEMENT UNDER STATE OF FLORIDA
HOUSING INITIATIVES PARTNERSHIP PROGRAM**

THIS INDENTURE, Made this 7 day of April, 2020 between
Valerie E. Osborn

hereinafter called the "Owner" ("Owner" refers to singular or plural as the context requires), and SUWANNEE COUNTY, FLORIDA, a political subdivision existing under the laws of the State of Florida (Federal ID No. 59-6000873), whose post office address is c/o Clerk of the Circuit Court, Suwannee County Courthouse, 200 South Ohio Avenue, Live Oak, Florida 32060, hereinafter called "County"; WITNESSETH:

WHEREAS, the State of Florida through County has made available to Owner under the State Housing Initiatives Partnership Program, Chapter 420, part VIII, Florida Statutes, and Suwannee County Ordinance No. 93-02, hereinafter referred to jointly as "SHIP", funds to be used in the purchase of newly constructed or rehabilitation of housing for families and individuals of low and moderate income; and

WHEREAS, the funds may not be used to produce windfall profits to Owner from the sale, rental, gift or improper use of properties assisted with such funds.

NOW, THEREFORE, in consideration of the provision of financial assistance to the Owner to purchase or rehabilitate the Property hereinafter described, subject to the terms and conditions hereinafter provided, the Owner has granted, bargained and sold to County the following described land situate, lying and being in the County of Suwannee, State of Florida, to-wit:

Parcel #22-01S-13E-0470800.3010

Legal Description Part of the Northwest 1/4 of the Southeast 1/4 of Section 22, Township 1 South, Range 13 East, Suwannee County, Florida being more particularly described as follows: For Point of Reference commence at the intersection of the East Right-of-Way Line of County Road No. 795 and the South line of the North 1/2 of said Southeast 1/4; thence run North 03°07'55" East along said East Right-of-Way line, a distance of 942.92 feet; thence run North 88°30'04" East, a distance of 271.87 feet to the Point of Beginning; thence continue North 88°30'04" East, a distance of 270.00 feet; thence run South 03°07'55" West, a distance of 165.00 feet; thence run South 88°30'04" West, a distance of 270.00 feet; thence run North 03°07'55" East, a distance of 165.00 feet to the Point of Beginning.

Together with a 20.00 foot Easement for Ingress and Egress, situated in Part of the Northwest 1/4 of the Southeast 1/4 of Section 22, Township 1 South, Range 13 East, Suwannee County, Florida, being more particularly described as follows: For Point of Reference commence at the intersection of the East Right-of-Way line of County Road No. 795 and the South line of the North 1/2 of said Southeast 1/4, thence run north 03°07'55" East along said East Right-of-Way line, a distance of 942.92 feet to the Point of Beginning; thence run North 88°30'04" East a distance of 271.87 feet; thence run South 03°07'55" West, a distance of 20.07 feet; thence run South 88°30'04" West, a distance of 271.87 feet to said Right-of-Way line of County Road No. 795; thence run North 03°07'55" East along said East Right-of-Way line, a distance of 20.07 feet to the Point of Beginning.

together with all and singular the tenements, hereditaments and appurtenances thereunto belonging, hereinafter referred to as "Property", and the said Owner does hereby fully warrant the title to said Property and will defend the same against the lawful claims of all persons whomsoever.

Owner hereby acknowledges covenants and agrees to and with County as follows:

1. SHIP funds in the amount of Twenty Five Thousand Dollars (\$25,000) have been provided to or for the benefit of the Owner to assist in the purchase/rehabilitation of the Property, the receipt whereof is hereby acknowledged by the Owner. The funds are provided as a ten (10) year non-interest bearing loan to be forgiven subject to the provisions of this agreement.
2. Owner shall occupy the Property as Owner's principal residence for a minimum period of ten (10) years from the date of this instrument.
3. If, within the period of ten (10) years immediately following the date of this instrument, the Property shall be sold, transferred or otherwise disposed of or if the Owner shall die, Owner, Owner's estate or the person or persons acquiring any title or interest in the Property

shall pay to the County that percent of said financial assistance provided to Owner under the SHIP program to be determined as follows:

IF PROPERTY IS SOLD, TRANSFERRED
OR OTHERWISE DISPOSED OF OR IF
OWNER SHOULD DIE AT ANYTIME
DURING THE:

PERCENT OF FINANCIAL ASSISTANCE
TO BE REPAID TO COUNTY:

First year	100 Percent
Second year	90 Percent
Third year	80 Percent
Fourth year	70 Percent
Fifth year	60 Percent
Sixth year	50 Percent
Seventh year	40 Percent
Eighth year	30 Percent
Ninth year	20 Percent
Tenth year	10 Percent
After 10 years	0 Percent

Transfer means any conveyance of the Property or any interest therein, voluntary or involuntary, transfer by reason of death of Owner, or delivery of possession of the Property for occupancy by one other than the Owner whether by oral agreement or contract for deed, lease, rental agreement or otherwise; provided, however, if illness of the Owner should make it impossible for the Owner to reside on or care for the Property, then the Owner may rent or lease the Property, but only with written consent of and upon the terms and conditions imposed by the SHIP Loan Committee.

The County may forgive any of the SHIP assistance should there be insufficient net proceeds derived from a good faith sale of the Property at market value during the ten (10) year period following the date of this agreement upon approval of the SHIP Loan Committee. "Net proceeds" is defined as the amount remaining after all private debt is repaid.

4. Paragraph 3 of this agreement regarding transfer of the subject Property shall not apply to a transfer from the Owner to the Owner's spouse; but if transferred to an Owner's spouse, the agreements contained herein shall run with title to the land and, thereafter, be applicable to any transfer made by the transferee's spouse; the time period for reimbursement to the County as set forth herein shall be computed from the date of this agreement.

5. The Owner shall promptly pay all taxes, assessments and encumbrances of every nature now on the Property or that hereafter may be imposed when due and payable according to law and before they shall become delinquent.

6. To place and continuously keep the improvements on the Property insured against loss or damage by fire and other hazards included within the term "extended coverage" in the usual, standard policy form in a sum not less than full insurable value and County shall be named in the policy as a loss payee as its interest may appear.

7. To maintain the Property in good condition and not permit or suffer any waste, impairment or deterioration of said Property.

8. If the Owner shall become in default under any provision in this lien agreement for a period of thirty (30) days, then, at the option of County, Owner shall immediately pay to County, without demand, the same amount that Owner would become obligated to pay to County upon sale or conveyance of the Property to be determined in accordance with the provisions of paragraph 3 hereof. Upon default, the amount payable shall immediately become due and payable and interest

shall accrue thereon at the rate of twelve percent (12%) per annum until both the principal and interest shall be paid in full.

9. If this lien agreement is made subject to a prior lien on the Property, then Owner covenants and agrees that Owner will not make any future advances under said prior lien without the written consent of the SFIP Loan Committee.

10. If the Owner should become in default in the performance of this lien agreement, Owner agrees to pay all cost, including reasonable attorneys' fees, whether suit be brought or not, if counsel be employed to collect this obligation or to protect the security thereof, including all costs and attorneys' fees incurred on appeal. The amount of accrued interest, court costs and attorneys' fees payable to County shall be determined by a court of competent jurisdiction, and not by jury, and shall be taxed as costs to be paid by the Owner.

11. This instrument shall be recorded in the office of the Clerk of the Circuit Court in the county where the Property is located and shall be a lien upon Owner's Property described hereinabove. This agreement shall be binding upon the heirs, devisees, successors and assigns of the Owner.

12. If this agreement shall not be released by written instrument of County at an earlier date, this agreement shall automatically expire ten (10) years from date hereof and no further claim shall be made hereunder.

IN WITNESS WHEREOF, Owner has executed this instrument under seal on the day and year first above written.

Signed, sealed and delivered in the presence of:

Elaine Miller (Witness #1 - Printed Name) Valerie E. Osborn (Valerie Osborn) (SEAL)
Elaine Miller 4/6/20 4/6/20
(Witness #1 - Signature)

Louis Miller (Witness #2 - Printed Name)
Louis Miller 4/6/20
(Witness #2 - Signature)

STATE OF FLORIDA
COUNTY OF Suwannee

The foregoing Lien Agreement was acknowledged before me this 6 day of
April 2020 by Valerie Osborn
who is personally known to me or has produced an identification _____

(NOTARIAL SEAL)

David A. Fox
Notary Public
(Print or type Notary Public's name)
My Commission Expires: _____
Commission No. _____

DAVID A. FOX
Notary Public - State of Florida
Commission # GG 056962
My Comm. Expires Dec 31, 2020
Bonded through National Notary Assn.

SUWANNEE COUNTY

Administration

Executive Summary

Objective:

Bid award for RFP 2023-13 regarding heavy duty dump trucks

Considerations:

- County advertised RFP 2023-13 for heavy duty dump trucks and received sealed bids on 7/21/2023
- Three companies communicated interest but only two submitted sealed bids:

Ritchie Brothers submitted a bid to sell the current dump trucks at auction (\$86K per truck X 10 = \$860K) and deliver the proceed to the County

RDK Truck Sales submitted a bid to sell 10 new dump trucks (\$116 per truck X 10 = \$1.16M) and purchase the existing 10 dump trucks.

NexTran submitted budgetary dump truck pricing but only did so after the sealed bids were opened.

- RDK offer provides \$1.16M to buy the existing dump trucks. The proceeds from the sale will pay off the remaining lease balance of \$268K. The \$892K remaining amount will be invested in the new trucks.
- RDK has proposed to lease the County 10 new heavy dump trucks over a 4-year lease term with an annual payment of \$30,674 per truck. RDK is also offering to repurchase the dump trucks from the County at the end of the lease term for a minium of \$84K per truck.

Budget Impact:

- Budgeted item
- Proposed RDK lease payment of \$30,674 per truck is approximately \$8,000 lower than the current lease payment of \$38,033.

Recommendation:

- Respectfully request the Board to award the bid from RFP2023-13 to RDK Truck Sales
- County staff will work with RDK to prepare a lease agreement for the new trucks and bring the draft agreement back to the Board for review

Respectfully submitted,

Greg Scott,

County Administrator

RFP SUMMARY
(MUST PRECEDE ALL RFQ DOCUMENTS)

Rodney Sundine, Regional Operations Manager

RESPONDER NAME

700 Ritchie Road, Davenport, FL 33897

ADDRESS

boihus@rbauction.com, 321-408-4989

EMAIL ADDRESS AND PHONE NUMBER

RFP NUMBER: 2023-13

DESCRIPTION OF PROJECT: Heavy Duty Dump Truck Acquisition

DATE & TIME OF RFP OPENING: July 25, 2023, at 10:00 a.m. or soon thereafter

LOCATION FOR RFQ OPENING: Suwannee County Judicial Annex
218 Parshley Street SW
Live Oak, FL 32064

Ritchie Bros. Auctioneers (America) Inc.

RESPONDER COMPANY NAME (PRINT OR TYPE)

Rodney Sundine

SIGNATURE OF AUTHORIZED COMPANY REPRESENTATIVE

Rodney Sundine, Regional Operations Manager

AUTHORIZED COMPANY REPRESENTATIVE (PRINT OR TYPE)

07/20/2023

DATE COMPLETED

IMPORTANT:
**THIS RFP SUMMARY MUST BE COMPLETED AND MUST PRECEDE ALL
RESPONDER DOCUMENTS**



Administrative Services

13150 80th Terrace Live Oak, FL 32060

Greg Scott, County Administrator

MEMORANDUM

DATE: June 28, 2023
TO: Florida Equipment/Vehicle Vendors
FROM: Greg Scott, County Administrator
SUBJECT: Heavy Duty Dump Truck Acquisition

Suwannee County is soliciting proposals from equipment suppliers to purchase ten (10) heavy duty dump trucks. The proposed units must include equipment specifications, all safety equipment, a warranty statement and comply with the following requirements. The successful preparer shall be responsible for purchasing the ten (10) heavy duty dump trucks the County currently owns. The County reserves the right to waive compliance by any applicant with any provision contained in this request whenever the County in its sole discretion believes such waiver is in the County's best interests. The County reserves the right to award to multiple Bidders or award to a single Bidder if such a decision is deemed by the County Administrator to better serve County interests. The County Administrator will be the final authority on acceptable alternatives. If interested, please submit one (1) original proposal and five (5) copies to:

**ATTENTION: CLERK TO THE BOARD
200 SOUTH OHIO AVENUE
LIVE OAK, FL 32064**

The deadline for receipt of proposals is June 21, at 4:00 p.m. Envelopes should be marked **"SEALED RFP NO. 2023-13 HEAVY DUTY DUMP TRUCK ACQUISITION"**

If you have any questions concerning this matter, please do not hesitate to contact Shannon Roberts at 386-590-0732.

Attachments

**BID SOLICITATION
RFP NO. 2023-13**

The Suwannee County Board of County Commissioners, Suwannee County, Florida will receive sealed bids at the Clerk of Court Cashier Window, located inside the Courthouse, addressed to the attention of **Clerk to the Board, 200 South Ohio Avenue, Live Oak, FL 32064** until **Friday, July 21, 2023, at 4:00 P.M.** Bids will be publicly opened and read aloud at the **Judicial Annex, 218 Parshley Street SW, Live Oak, Florida 32064** on **Tuesday, July 25, 2023, at 10:00 a.m.** for the following:

**HEAVY DUTY DUMP TRUCK ACQUISITION
SUWANNEE COUNTY, FLORIDA**

Suwannee County is soliciting proposals from equipment suppliers to purchase ten (10) heavy duty dump trucks. The proposed units must include equipment specifications, all safety equipment, a warranty statement and comply with the following requirements. The successful preparer shall be responsible for purchasing the ten (10) heavy duty dump trucks the County currently owns.

The Board of County Commissioners may accept all or part of any bid. Any bid received after **Friday, July 21, 2023, at 4:00 p.m.**, will be retained at the Clerk of Court Office unopened and will not be considered. The Board of County Commissioners reserves the right to reject any and all bids, waive formalities and re-advertise and award the bid in the best interest of Suwannee County.

The Board of County Commissioners does not discriminate because of race, color, religion, sex, sexual orientation, gender identity, national origin, genetics, handicap status, income status, or family status.

The Board of County Commissioners requires a Sworn Statement under section 287.133(3)(a), F.S., on Public Entity Crimes.

The following condition will be a part of the contract as required by Suwannee County:
Contractor shall utilize the U.S. Department of Homeland Security's E-Verify system, in accordance with the terms governing use of the system, to confirm the employment eligibility of:

1. all persons employed by the Vendor/Contractor during the term of the Contract to perform employment duties within Florida; and
2. all persons, including subcontractors, assigned by the Vendor/Contractor to perform work pursuant to the contract with Suwannee County.

Electronic copies of bid documents, plans, specifications, and addenda are available in pdf format on www.demandstar.com or www.suwanneecountyfl.gov.

Due to the possibility of technical glitches, it will be the sole responsibility of the vendor to check DemandStar.com and suwanneecountyfl.gov for all bid documents and addenda prior to submitting their subsequent bid response package.

An optional pre-RFP meeting will be held to view the heavy duty dump trucks that will be purchased from the County on Friday, July 7, 2023, at 10:00 am, or soon thereafter, located at the Suwannee County Road Department, 13150 80th Terrace, Live Oak, FL 32060.

Any questions concerning the bid specifications should be directed to Shannon Roberts, shannonr@suwcountyfl.gov, (386) 590-0732. Any, and all, such interpretations and any supplemental instructions will be in the form of a written addendum which, if issued, will be posted on the DemandStar.com and suwanneecountyfl.gov. All addenda so issued shall become part of the bid documents.

All bids must be submitted with **one (1) original and five (5) copies** and labeled on the outside of the envelope as:

**ATTN: CLERK TO THE BOARD
200 SOUTH OHIO AVENUE
LIVE OAK, FL 32064
SEALED RFP NO. 2023-13 HEAVY DUTY DUMP TRUCK ACQUISITION**

Franklin White, Chairman
Suwannee County Board of County Commissioners

Suwannee County RFP 2023-13 Specification for Heavy Duty Dump Trucks Acquisition

General

These specifications shall be construed as the minimum acceptable standards for a heavy-duty dump truck chassis and body. Should the manufacturer's current published data or specifications exceed these standards, the manufacturer's standards shall be considered minimum and shall be furnished. All integral parts not specifically mentioned in the scope of these specifications that are necessary to provide a complete working unit shall be furnished. Additionally, the machine offered for bid shall include all standard manufacturers' equipment.

The use of specific names or numbers in the specifications is not intended to restrict the bidder or any seller or manufacturer but is intended solely for the purpose of indicating the type, size, and quality of equipment considered best adapted to the uses of Suwannee County.

Note all units offered for bid must be of the manufacturer's current production model and must be fully compliant with EPA standards in effect at the time of manufacture.

Each section of the specification lists requirements and all bidders will annotate conformance to requirements by clearly marking the YES or NO and the page reference number in the bid proposal substantiating compliance.

Warranty

Bidders shall submit a copy of the manufacturer's standard warranty along with a complete explanation of the warranty with their bid. The warranty must be transferable. The bid shall include a bumper-to-bumper type of warranty covering the entirety of the equipment (truck chassis & body) for the lease period.	YES	<input checked="" type="checkbox"/> NO
	Page #	

DOT Inspection and Safety Equipment

Prior to delivery each unit shall be DOT inspected and include the appropriate documentation and decal. In addition, each unit shall be equipped with the required fire extinguisher and reflective triangle kit.	YES	<input checked="" type="checkbox"/> NO
	Page #	

Engine and Related Components

Shall be an in line 6 design 15-liter, turbo charged diesel engine capable of developing 505HP @1650 RPM with a torque rating of 1,650 lb. ft	YES	<input checked="" type="checkbox"/> NO
	Page #	

Diesel Particulate Filter and SCR catalyst to be frame mounted under passenger door.	YES	<input checked="" type="checkbox"/> NO
	Page #	

Factory installed integral Engine Compression Brake.	YES	<input checked="" type="checkbox"/> NO
	Page #	

Engine electronics to include shutdown capabilities for critical engine functions, full diagnostic capability, road limiting and cruise control feature.	YES	<input checked="" type="checkbox"/> NO
	Page #	

Starting and Electrical System

12-Volt system fuse/circuit breaker protected	YES	<input checked="" type="checkbox"/> NO
	Page #	

Minimum 160 Amp Alternator with remote voltage sensor capability to monitor battery charge and adjust alternator output accordingly	YES	<input checked="" type="radio"/> NO
	Page #	

Transmission and Driveline

An automatic ten (10) speed overdrive design, with a minimum first gear reduction of 14.56 to 1. Allison preferred but not required.	YES	<input checked="" type="radio"/> NO
	Page #	

A dash mounted Transmission temperature gauge is required.	YES	<input checked="" type="radio"/> NO
	Page #	

Cab and Exterior

Cab glass to be safety tinted.	YES	<input checked="" type="radio"/> NO
	Page #	

Cab to have grab handles on both sides of the cab.	YES	<input checked="" type="radio"/> NO
	Page #	

Cab mounting shall be air suspended on dual air bags.	YES	<input checked="" type="radio"/> NO
	Page #	

Exterior lights: equipped with daytime running lights	YES	<input checked="" type="checkbox"/> NO
	Page #	

Exterior lights: LED headlights	YES	<input checked="" type="checkbox"/> NO
	Page #	

Taillight mounting/positioning to enable "paver" clearance	YES	<input checked="" type="checkbox"/> NO
	Page #	

Cab Interior

Storage Pocket located in the cab.	YES	<input checked="" type="checkbox"/> NO
	Page #	

Cab should have interior sun visors on both sides of cab.	YES	<input checked="" type="checkbox"/> NO
	Page #	

Cab mounting shall be air suspended on dual air bags.	YES	<input checked="" type="checkbox"/> NO
	Page #	

Minimum dash features to include: Transmission oil temperature gauge and engine air filter restriction indicator	YES	<input checked="" type="checkbox"/> NO
	Page #	

Minimum dash features to include: Full adjusting tilt and telescopic steering column	YES	<input checked="" type="checkbox"/> NO
	Page #	

Cab seats should be: Driver National 2000 model 195 High Back air ride design with dual arm rests and cloth/vinyl covering or substantially similar	YES	<input checked="" type="checkbox"/> NO
	Page #	

Cab seats should be: Passenger seat to be fixed design	YES	<input checked="" type="checkbox"/> NO
	Page #	

Factory installed integral heater/air conditioning with enhanced recirculation control for cold weather.	YES	<input checked="" type="checkbox"/> NO
	Page #	

Factory installed integral heater/air conditioning with enhanced recirculation control for cold weather.	YES	<input checked="" type="checkbox"/> NO
	Page #	

System to include trailer brake piping with an in-cab control valve.	YES	<input checked="" type="checkbox"/> NO
	Page #	

Rear axle brake chambers shall be located to provide "Paver" clearance.	YES	<input checked="" type="checkbox"/> NO
	Page #	

Frame/Bumper/Fuel Tanks

Front bumper Bright Finish stainless clad aluminum.	YES	<input checked="" type="checkbox"/> NO
	Page #	

Fuel tank to be non-polished aluminum with a minimum of 75-gallon capacity, located under driver side door of cab.	YES	<input checked="" type="checkbox"/> NO
	Page #	

Front Axle

20,000 lb. design steel I beam front axle	YES	<input checked="" type="checkbox"/> NO
	Page #	

20,000 lb. parabolic taper leaf front springs with shock absorbers or equivalent	YES	<input checked="" type="checkbox"/> NO
	Page #	

"S" cam design 16.5" x 6" brakes with outboard mounted drums.	YES	<input checked="" type="checkbox"/> NO
	Page #	

Front wheels to be Aluminum ten (10) hole hub piloted 22.5" x 12.25".	YES	<input checked="" type="checkbox"/> NO
	Page #	

Front tires to be 20 ply 425/65R22.5 radials Continental HTC1 or equal.	YES	<input checked="" type="checkbox"/> NO
	Page #	

Steering system shall include dual power gears, to provide maximum torque to steering arms. A single gear and slave cylinder are not acceptable.	YES	<input checked="" type="checkbox"/> NO
	Page #	

Turn angle greater than 38 degrees in both directions with 425 Tires required for job site maneuverability and service access.	YES	<input checked="" type="checkbox"/> NO
	Page #	

Rear Axle

46,000# capacity single reduction design tandem rear axle with Lube oil pump, and driver controlled locking differentials in both FWD-RR & RR-RR axles.	YES	<input checked="" type="checkbox"/> NO
	Page #	

46,000# rubber spring suspension with restrictor cans, and 8 torque rods Without shocks walking beam design. Chalmers or equal. Differential locking switches for forward & rear axle on separate switches.	YES	<input checked="" type="checkbox"/> NO
	Page #	

In cab Power divider lock out valve with warning light and buzzer.	YES	<input checked="" type="checkbox"/> NO
	Page #	

"S" cam design 16.5" x 7" brakes with outboard drums.	YES	<input checked="" type="checkbox"/> NO
	Page #	

Rear wheels to be Alum Disc (10) hole hub piloted 24.5x 8.25 inside and out.	YES	<input checked="" type="checkbox"/> NO
	Page #	

Rear tires to be 11R22 Bringston or equivalent.	YES	<input checked="" type="checkbox"/> NO
	Page #	

Body

Equipped with Ox Bodies Stampede body	YES	<input checked="" type="checkbox"/> NO
	Page #	

Electric flip roll tarp with spring assist	YES	<input checked="" type="checkbox"/> NO
	Page #	

Air lock tail gate	YES	<input checked="" type="checkbox"/> NO
	Page #	

Suwannee County RFP 2023-13 Trade-In Requirements for Heavy Duty Dump Trucks

As stated in the RFP 2023-13 memo to perspective preparers/participants, the solicitation requires purchasing the ten (10) existing heavy duty dump trucks in the County's possession. Base information about the units and minimum purchase price are listed below. The trade-in units will be available after new units are in service. Arrangements to inspect these units, prior to bid, can be made by contacting Mr. Shannon Roberts at 386-590-0732.

Trade-In Amounts for:

YEAR	MAKE	MODEL	S/N	DESCRIPTION	Minimum Trade-In
2020	MACK	GR64B	1M2GR2GC3LM018145	T/A, MP7-425M diesel engine, Mack mDRIVE transmission, 46k rears, 20k front, 16' hard Ox body, 11R22.5 rear tires, 425/65R22.5 front tires, county owned	\$110,000
2020	MACK	GR64B	1M2GR2GC2LM017553	T/A, MP7-425M diesel engine, Mack mDRIVE transmission, 46k rears, 20k front, 16' hard Ox body, 11R22.5 rear tires, 425/65R22.5 front tires, county owned	\$110,000
2020	MACK	GR64B	1M2GRG2C9LM017551	T/A, MP7-425M diesel engine, Mack mDRIVE transmission, 46k rears, 20k front, 16' hard Ox body, 11R22.5 rear tires, 425/65R22.5 front tires, county owned	\$110,000
2020	MACK	GR64B	1M2GRG2GC0LM016272	T/A, MP7-425M diesel engine, Mack mDRIVE transmission, 46k rears, 20k front, 16' hard Ox body, 11R22.5 rear tires, 425/65R22.5 front tires, county owned	\$110,000
2020	MACK	GR64F	1M2GR4GC5LM018515	T/A, MP8-455M diesel engine, Allison automatic transmission, 46k rears, 20k front, 16' hard Ox body, 11R22.5 rear tires, 425/65R22.5 front tires, county owned	\$110,000
2020	MACK	GR64B	1M2GR2GC9LM016271	T/A, MP7-425M diesel engine, Mack mDRIVE transmission, 46k rears, 20k front, 16' hard Ox body, 11R22.5 rear tires, 425/65R22.5 front tires, county owned	\$110,000

2020	MACK	GR64B	1M2GR2GC0LM017552	T/A, MP7-425M diesel engine, Mack mDRIVE transmission, 46k rears, 20k front, 16' hard Ox body, 11R22.5 rear tires, 425/65R22.5 front tires, county owned	\$110,000
2020	MACK	GR64F	1M2GR4GC3LM018514	T/A, MP8-455M diesel engine, Allison automatic transmission, 46k rears, 20k front, 16' hard Ox body, 11R22.5 rear tires, 425/65R22.5 front tires, county owned	\$110,000
2020	MACK	GR64B	1M2GR2GC3LM019036	T/A, MP7-425M diesel engine, Mack mDRIVE transmission, 46k rears, 20k front, 16' hard Ox body, 11R22.5 rear tires, 425/65R22.5 front tires, county owned	\$110,000
2020	MACK	GR64B	1M2GR4GC7LM018516	T/A, MP7-425M diesel engine, Mack mDRIVE transmission, 46k rears, 20k front, 16' hard Ox body, 11R22.5 rear tires, 425/65R22.5 front tires, county owned	\$110,000

Suwannee County RFP 2023-13 Pricing Sheets for Heavy Duty Dump Trucks Acquisition

Ten (10) Heavy Dump Truck Units per Equipment Specifications	
Company Name: Ritchie Bros. Auctioneers (America) Inc.	
Manufacturer Name: Mack	
Current Year & Model: 2020 GR64B x 8 units, 2020 GR64F x 2 units	
Trade-In Amount Offer Per Unit	96,085
Purchase price for single unit as specified	96,085
Purchase price for ten (10) units as specified	960,850
Total annual lease payment for single unit as specified	NA
Total annual lease payment for ten (10) units as specified	NA
Finance rate for 2-year lease	NA

**SWORN STATEMENT UNDER SECTION 287.133(3)(a),
FLORIDA STATUTES, ON PUBLIC ENTITY CRIMES**

HIS FORM MUST BE SIGNED AND SWORN TO IN THE PRESENCE OF A NOTARY PUBLIC OR OTHER OFFICER AUTHORIZED TO ADMINISTER OATHS.

1. This sworn statement is submitted to Suwannee County
[print name of public entity]

by Rodney Sundine, Regional Operations Manager
[print individual's name and title]

for Ritchie Bros. Auctioneers (America) Inc.
[print name of entity submitting sworn statement]

whose business address is 700 Ritchie Road, Davenport, FL 33897

and (if applicable) its Federal Employer Identification Number (FEIN) is 91-1830835 (If the

entity has no FEIN, include the Social Security Number of the individual signing this sworn statement:

N/A.)

2. I understand that a "public entity crime" as defined in Paragraph 287.133(1)(g), **Florida Statutes**, means a violation of any state or federal law by a person with respect to and directly related to the transaction of business with any business with any public entity or with an agency or political subdivision of any other state or of the United States, including, but not limited to, any bid or contract for goods or services to be provided to any public entity or an agency or political subdivision of any other state or of the United States and involving antitrust, fraud, theft, bribery, collusion, racketeering, conspiracy, or material misrepresentation.
3. I understand that "convicted" or "conviction" as defined in Paragraph 287.133(1)(b), **Florida Statutes**, means a finding of guilt or a conviction of a public entity crime, with or without an adjudication of guilt, in any federal or state trial court of record relating to charges brought by indictment or information after July 1, 1989, as a result of a jury verdict, nonjury trial, or entry of a plea of guilty or nolo contendere.
4. I understand that an "affiliate" as defined in Paragraph 287.133 (1)(a), **Florida Statutes**, means:
1. A predecessor or successor of a person convicted of a public entity crime; or
 2. An entity under the control of any natural person who is active in the management of the entity and who has been convicted of a public entity crime. The term "affiliate" includes those officers, directors, executives, partners, shareholders, employees, members, and agents who are active in the management of an affiliate. The ownership by one person of shares constituting a controlling interest in another person, or a pooling of equipment or income among persons when not for fair market value under an arm's length agreement, shall be a prima facie case that one person controls another person. A person who knowingly enters into a joint venture with a person who has been convicted of a public entity crime in Florida during the preceding 36 months shall be considered an affiliate.

5. I understand that a "person" as defined in Paragraph 287.133(1)(e), Florida Statutes means any natural person or entity organized under the laws of any state or of the United States with the legal power to enter into a binding contract and which bids or applies to bid on contracts for the provision of goods or services let by a public entity, or which otherwise transacts or applies to transact business with a public entity. The term "person" includes those officers, directors, executives, partners, shareholders, employees, members, and agents who are active in management of an entity.
6. Based on information and belief, the statement which I have marked below is true in relation to the entity submitting this sworn statement. **[indicate which statement applies.]**

- Neither the entity submitting this sworn statement, nor any officers, directors, executives, partners, shareholders, employees, members, or agents who are active in the management of the entity, nor any affiliate of the entity has been charged with and convicted of a public entity crime subsequent to July 1, 1989.
- The entity submitting this sworn statement, or one or more of its officers, directors, executives, partners, shareholders, employees, members or agents who are active in management of the entity, or an affiliate of the entity has been charged with and convicted of a public entity crime subsequent to July 1, 1989.
- The entity submitting this sworn statement, or one or more of its officers, directors, executives, partners, shareholders, employees, members, or agents who are active in the management of the entity, or an affiliate of the entity has been charged with and convicted of a public entity crime subsequent to July 1, 1989. However, there has been a subsequent proceeding before a Hearing Officer of the State of Florida, Division of Administrative Hearings and the Final Order entered by the hearing Officer determined that it was not in the public interest to place the entity submitting this sworn statement on the convicted vendor list. **[attach a copy of the final order]**

I UNDERSTAND THAT THE SUBMISSION OF THIS FORM TO THE CONTRACTING OFFICER FOR THE PUBLIC ENTITY IDENTIFIED IN PARAGRAPH 1 (ONE) ABOVE IS FOR THAT PUBLIC ENTITY ONLY AND, THAT THIS FORM IS VALID THROUGH DECEMBER 31 OF THE CALENDAR YEAR IN WHICH IT IS FILED. I ALSO UNDERSTAND THAT I AM REQUIRED TO INFORM THE PUBLIC ENTITY PRIOR TO ENTERING INTO A CONTRACT IN EXCESS OF THE THRESHOLD AMOUNT PROVIDED IN SECTION 287.017, FLORIDA STATUTES FOR CATEGORY TWO OF ANY CHANGE IN THE INFORMATION CONTAINED IN THIS FORM.

Robyn Swindle
[signature]

Sworn to and subscribed before me this 20th day of July, 2023.

Personally known

OR Produced identification _____ Notary Public - State of FL

My commission expires 8/30/24
(Type of Identification)

Jan Chandler
(Printed typed or stamped Commissioned name of Notary Public)





Board of County Commissioners

13150 80th Terrace Live Oak, FL 32060

Franklin White, Chairman

**E-Verify for
RFP No. 2023-13
HEAVY DUTY DUMP TRUCK ACQUISITION
Suwannee County, Florida**

Company/Entity: Ritchie Bros. Auctioneers (America) Inc.

Authorized Signature: *Rodney Sanchez*

The Company acknowledges and agrees to utilize the U. S. Department of Homeland Security's E-verify system in accordance with the terms governing use of the system, for the purpose of confirming the employment eligibility of all employees, subcontractors or persons utilized by the Company while undertaking work within Suwannee County.

REFERENCES

List three (3) local government entities the company has done business with during

- the past five (5) years.
1. Company name Wakulla County Public Works
Address 3093 Crawfordville HWY, Crawfordville, FL 32327
Contact Name Kevin Donaldson
Contact Phone or e-mail Kdonaldson@mywakulla.com
Short description of project sold county assets for Wakulla County
 2. Company name Pennsylvania Department of General Service
Address 3201 Forster St. Harrisburg, PA 17103
Contact Name Matt Blascovich
Contact Phone or e-mail mblascovic@pa.gov
Short description of project Sales state surplus for State of Pennsylvania. Had contract for 5 years
 3. Company name Fresno County, CA
Address 333 W Pontiac Way Clovis, CA 93612
Contact Name Gary Cornuelle
Contact Phone or e-mail gcornuelle@fresnocounty.ca.gov
Short description of project County vehicle surplus for county of Fresno, CA. Had contract for 4 years

**FP NO. 2023-13
AVY DUTY DUMP TRUCK ACQUISITION
SUWANNEE COUNTY, FL**

Failure to Perform Questionnaire

Name of Company: Ritchie Bros. Auctioneers (America) Inc.

1. Has the company been involved in any litigation within the last (5) five years for failure to perform?

Yes No

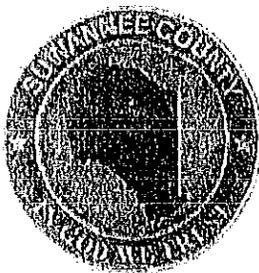
If yes, explain:

We have been involved in litigation in the normal course of business. All have either been resolved to the satisfaction of the litigants or are ongoing.

2. Has a bond company or other insurance been utilized to complete a project for the company within the last (5) five years?

Yes No

If yes, explain:



Administrative Services

13150 80th Terrace Live Oak, FL 32060

Greg Scott, County Administrator

Suwannee County Nondiscrimination Policy

I. Policy Statement

Suwannee County Board of County Commissioners (hereinafter the Agency) does not tolerate discrimination in any of its programs, services or activities. Pursuant to Title VI of the Civil Rights Act of 1964 and other federal and state authorities, the Agency will not exclude from participation in, deny the benefits of, or subject to discrimination anyone on the grounds of race, color, religion, sex, sexual orientation, gender identity, national origin, genetics, handicap status, income status, or family status.

II. Complaint Procedures

The Agency has established a discrimination complaint procedure and will take prompt and reasonable action to investigate and eliminate discrimination when found. Any person who believes that he or she has been subjected to discrimination based upon race, color, religion, sex, sexual orientation, gender identity, national origin, genetics, handicap status, income status, or family status in any Agency program, service or activity may file a complaint with the Agency Title VI/Nondiscrimination Coordinator:

Name: Paula Pennington
Address: 13150 80th Terrace
Live Oak, FL 32060
Email: paulap@suwcountycl.gov
Phone: 386-364-3400

If possible, the complaint should be submitted in writing and contain the identity of the



Administrative Services

11/13/2011 for use Live Chat, 5/1/2017

Randy Harris, County Administrator

complainant; the basis for the allegations (i.e., of race, color, religion, sex, sexual orientation, gender identity, national origin, genetics, handicap status, income status, or family status); and a description of the alleged discrimination with the date of occurrence. If the complaint cannot be submitted in writing, the complainant should contact the Title VI/Nondiscrimination Coordinator for assistance. The Title VI/Nondiscrimination Coordinator will respond to the complaint within thirty (30) calendar days and will take reasonable steps to resolve the matter.

Greg Scott, County Administrator

Policy approval/revision date: 3/1/2022



Board of County Commissioners

13150 80th Terrace Live Oak, FL 32060

Franklin White, Chairman

RFQ No. 2023-13
HEAVY DUTY DUMP TRUCK ACQUISITION
SUWANNEE COUNTY, FL

NONDISCRIMINATION POLICY ACKNOWLEDGEMENT

Ritchie Bros. Auctioneers (America) Inc.

_____ (Company Name) is familiar with the

Suwannee County Board of County Commissioners Nondiscrimination Policy and is hereby committed to complying with same.

Accepted By/Authorized Representative:

Rodney Sundine
(Print Name)

Rodney Sundine
(Signature)

07/20/2023
(Date)

Please complete and submit this form with all of you RFP documents

**Checklist for
RFP No. 2023-13
HEAVY DUTY DUMP TRUCK ACQUISITION
Suwannee County, Florida**

- RFP Summary Page
- Sworn Entity Statement
- Copies of Applicable Business & Professional Licenses
- Proof of Insurance
- E-Verify Form
- References
- Failure to Perform Questionnaire
- Nondiscrimination Policy Acknowledgement
- Any other documents in accordance with specifications
- Submission of one (1) original and five (5) copies of RFP



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
07/26/2022

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Marsh USA, Inc. 9830 Colonnade Blvd, Suite 400 San Antonio, TX 78230 CN102071049-RBFS-Prof-22-23	CONTACT NAME: _____ PHONE (A/C, No, Ext): _____ FAX (A/C, No): _____ E-MAIL ADDRESS: _____	
	INSURER(S) AFFORDING COVERAGE	
INSURED Ritchie Bros. Auctioneers (America) Inc. 4000 Pine Lake Road Lincoln, NE 68516	INSURER A: Zurich American Insurance Company	18535
	INSURER B:	
	INSURER C: Liberty Mutual Fire Insurance Company	23035
	INSURER D: N/A	N/A
	INSURER E:	
	INSURER F:	

COVERAGES **CERTIFICATE NUMBER:** HOU-003330776-10 **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSD WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER: _____		GLO9184668-08	08/01/2022	08/01/2023	EACH OCCURRENCE	\$ 1,000,000
						DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 1,000,000
						MED EXP (Any one person)	\$ 5,000
						PERSONAL & ADV INJURY	\$ 1,000,000
						GENERAL AGGREGATE	\$ 10,000,000
						PRODUCTS - COMP/OP AGG	\$ 1,000,000
							\$
A	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY		BAP 4846098 01-	08/01/2022	08/01/2023	COMBINED SINGLE LIMIT (Ea accident)	\$ 5,000,000
						BODILY INJURY (Per person)	\$
						BODILY INJURY (Per accident)	\$
						PROPERTY DAMAGE (Per accident)	\$
							\$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$ 10,000		AUC918466708	08/01/2022	08/01/2023	EACH OCCURRENCE	\$ 5,000,000
						AGGREGATE	\$ 14,000,000
							\$
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N <input checked="" type="checkbox"/> N <input type="checkbox"/> N/A	WC2-B71-170848-012	08/01/2022	08/01/2023	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER	
						E.L. EACH ACCIDENT	\$ 1,000,000
						E.L. DISEASE - EA EMPLOYEE	\$ 1,000,000
						E.L. DISEASE - POLICY LIMIT	\$ 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Ritchie Bros. Auctioneers Incorporated is included as additional insured (except workers' compensation) where required by written contract. This insurance is primary and non-contributory over any existing insurance and limited to liability arising out of the operations of the named insured subject to policy terms and conditions. Waiver of subrogation is applicable where required by written contract and subject to policy terms and conditions.

CERTIFICATE HOLDER

Ritchie Bros. Auctioneers Incorporated
 4000 Pine Lake Road
 Lincoln, NE 68516

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Marsh USA Inc.

LICENSE CERTIFICATE

STATE OF FLORIDA
DEPARTMENT OF HIGHWAY SAFETY AND
MOTOR VEHICLES
DIVISION OF MOTORIST SERVICES

RITCHIE BROS AUCTIONEERS AMERICA INC
4000 PINE LAKE RD
LINCOLN, NE 68516-5484

License

LICENSE NUMBER
VI/1011815/1
PRIMARY LOT

FOR AN INDEPENDENT DEALER IN
MOTOR VEHICLES

EFFECTIVE DATE
03/06/2022

EXPIRATION DATE
04/30/2024

THIS CERTIFIES, THAT

RITCHIE BROS AUCTIONEERS AMERICA INC
RITCHIE BROS AUCTIONEERS

AT 700 RITCHIE RD
DAVENPORT, FL 33897

IS HEREBY LICENSED UNDER THE PROVISIONS OF SECTION

320.27, FLORIDA STATUTES TO CONDUCT AND CARRY ON BUSINESS AS
AN INDEPENDENT DEALER IN MOTOR VEHICLES AT THE ABOVE
DESCRIBED LOCATION

GIVEN UNDER MY HAND AND SEAL THE ABOVE DATE WRITTEN.

Ed Boyles

BUREAU CHIEF



Robert R. Kyrach

DIRECTOR

HDV 94103 (REV. 2/1113)

STATE OF FLORIDA

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LICENSE CERTIFICATE

STATE OF FLORIDA
DEPARTMENT OF HIGHWAY SAFETY AND
MOTOR VEHICLES
DIVISION OF MOTORIST SERVICES

RITCHIE BROS AUCTIONEERS AMERICA INC
4000 FINE LAKE RD
LINCOLN, NE 68516-5484

License

LICENSE NUMBER
RU/1058778/1

PRIMARY LOT

FOR A DEALER OF USED
RECREATIONAL VEHICLES

EXPIRATION DATE
09/30/2023

EFFECTIVE DATE
08/17/2021

THIS CERTIFIES, THAT

RITCHIE BROS AUCTIONEERS AMERICA INC
RITCHIE BROS AUCTIONEERS

AT 700 RITCHIE RD
DAVENPORT, FL 33897

IS HEREBY LICENSED UNDER THE PROVISIONS OF SECTION

320.771 FLORIDA STATUTES TO CONDUCT AND CARRY ON BUSINESS AS
A DEALER IN RECREATIONAL VEHICLES AT THE ABOVE DESCRIBED
LOCATION

GIVEN UNDER MY HAND AND SEAL THE ABOVE DATE WRITTEN.

Ed Boylez

BUREAU CHIEF



Robert R. Kynard

DIRECTOR

DSMV 84101 (REV. 4/11)S

STATE OF FLORIDA

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POLK COUNTY LOCAL BUSINESS TAX RECEIPT

ACCOUNT NO. 9151

CLASS: B+

EXPIRES:

09/30/2023

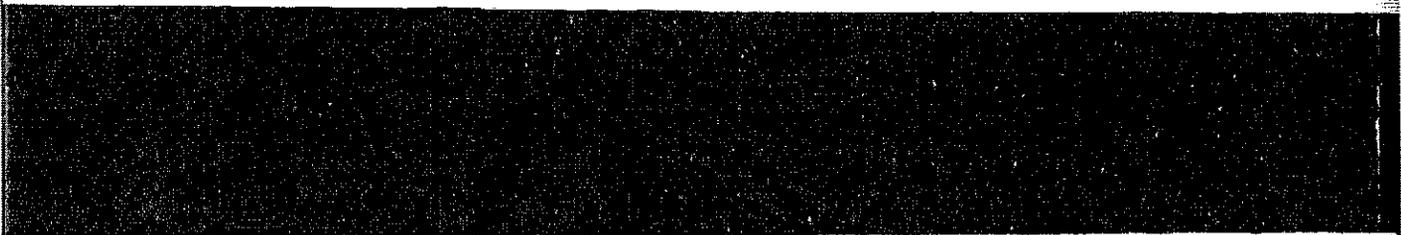
OWNER NAME	LOCATION
JACOB LAWSON	700 RITCHIE RD DAVENPORT

BUSINESS NAME AND MAILING ADDRESS	CODE	ACTIVITY TYPE
JACOB LAWSON JACOB LAWSON RITCHIE BROS AUCTIONEERS (AMERICA) INC. 4000 PINE LAKE RD LINCOLN, NE 685165484	540040	AUCTIONEER

PROFESSIONAL LICENSE (IF APPLICABLE)

OFFICE OF JOE G. TEDDER, CFC * TAX COLLECTOR	THIS POLK COUNTY LOCAL BUSINESS TAX RECEIPT MUST BE CONSPICUOUSLY DISPLAYED AT THE BUSINESS LOCATION
--	---

PAID - 829553 07/12/2022 OPY OLP 57.75 JACOB LAWSON



POLK COUNTY LOCAL BUSINESS TAX RECEIPT

ACCOUNT NO. 9597

CLASS: A

EXPIRES:

09/30/2023

OWNER NAME	LOCATION
JACOB LAWSON	700 RITCHIE RD DAVENPORT

BUSINESS NAME AND MAILING ADDRESS	CODE	ACTIVITY TYPE
RITCHIE BROS AUCTIONEERS (AMERICA) INC RITCHIE BROS AUCTIONEERS (AMERICA) INC 4000 LAKE PINE RD LINCOLN, NE 68516	920000	LTD PUBLIC SERVICE

OFFICE OF JOE G. TEDDER, CFC * TAX COLLECTOR	THIS POLK COUNTY LOCAL BUSINESS TAX RECEIPT MUST BE CONSPICUOUSLY DISPLAYED AT THE BUSINESS LOCATION
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PAID - 829553 07/12/2022 OPY OLP 31.50 RITCHIE BROS AUCTIONEERS (AMERICA) INC

Copy #3

RFP SUMMARY
(MUST PRECEDE ALL RFQ DOCUMENTS)

RDK Assets, Inc

RESPONDER NAME

3214 Adams Dr. Tampa, Florida 33605

ADDRESS

Joanie@RDK.com 813-210-1948 / 813-241-0711

EMAIL ADDRESS AND PHONE NUMBER

RFP NUMBER: 2023-13
DESCRIPTION OF PROJECT: Heavy Duty Dump Truck Acquisition
DATE & TIME OF RFP OPENING: July 25, 2023, at 10:00 a.m. or soon thereafter
LOCATION FOR RFQ OPENING: Suwannee County Judicial Annex
218 Parshley Street SW
Live Oak, FL 32064

RDK Assets, Inc

RESPONDER COMPANY NAME (PRINT OR TYPE)

Joanie Beckwith

SIGNATURE OF AUTHORIZED COMPANY REPRESENTATIVE

Joanie Beckwith

AUTHORIZED COMPANY REPRESENTATIVE (PRINT OR TYPE)

7-19-2023

DATE COMPLETED

IMPORTANT:
THIS RFP SUMMARY MUST BE COMPLETED AND MUST PRECEDE ALL
RESPONDER DOCUMENTS

Suwannee County RFP 2023-13 Specification for Heavy Duty Dump Trucks Acquisition

General

These specifications shall be construed as the minimum acceptable standards for a heavy-duty dump truck chassis and body. Should the manufacturer's current published data or specifications exceed these standards, the manufacturer's standards shall be considered minimum and shall be furnished. All integral parts not specifically mentioned in the scope of these specifications that are necessary to provide a complete working unit shall be furnished. Additionally, the machine offered for bid shall include all standard manufacturers' equipment.

The use of specific names or numbers in the specifications is not intended to restrict the bidder or any seller or manufacturer but is intended solely for the purpose of indicating the type, size, and quality of equipment considered best adapted to the uses of Suwannee County.

Note all units offered for bid must be of the manufacturer's current production model and must be fully compliant with EPA standards in effect at the time of manufacture.

Each section of the specification lists requirements and all bidders will annotate conformance to requirements by clearly marking the YES or NO and the page reference number in the bid proposal substantiating compliance.

Warranty

Bidders shall submit a copy of the manufacturer's standard warranty along with a complete explanation of the warranty with their bid. The warranty must be transferable. The bid shall include a bumper-to-bumper type of warranty covering the entirety of the equipment (truck chassis & body) for the lease period.	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page # <u>1-6</u> at end of BID	

DOT Inspection and Safety Equipment

Prior to delivery each unit shall be DOT inspected and include the appropriate documentation and decal. In addition, each unit shall be equipped with the required fire extinguisher and reflective triangle kit.	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

Engine and Related Components

Shall be an in line 6 design 15-liter, turbo charged diesel engine capable of developing 505HP @1650 RPM with a torque rating of 1,650 lb. ft	YES	NO <input checked="" type="checkbox"/>
	Page # 1-3	

Diesel Particulate Filter and SCR catalyst to be frame mounted under passenger door.	YES <input checked="" type="checkbox"/>	NO
	Page #	

Factory installed integral Engine Compression Brake.	YES <input checked="" type="checkbox"/>	NO
	Page #	

Engine electronics to include shutdown capabilities for critical engine functions, full diagnostic capability, road limiting and cruise control feature.	YES <input checked="" type="checkbox"/>	NO
	Page #	

Starting and Electrical System

12-Volt system fuse/circuit breaker protected	YES <input checked="" type="checkbox"/>	NO
	Page #	

Minimum 160 Amp Alternator with remote voltage sensor capability to monitor battery charge and adjust alternator output accordingly	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

Transmission and Driveline

An automatic ten (10) speed overdrive design, with a minimum first gear reduction of 14.56 to 1. Allison preferred but not required.	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
	Page # 1-3	

A dash mounted Transmission temperature gauge is required.	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

Cab and Exterior

Cab glass to be safety tinted.	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

Cab to have grab handles on both sides of the cab.	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

Cab mounting shall be air suspended on dual air bags.	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

Exterior lights: equipped with daytime running lights	<input checked="" type="checkbox"/>	NO
	YES	
		Page #

Exterior lights: LED headlights	<input checked="" type="checkbox"/>	NO
	YES	
		Page #

Taillight mounting/positioning to enable "paver" clearance	<input checked="" type="checkbox"/>	NO
	YES	
		Page #

Cab Interior

Storage Pocket located in the cab.	<input checked="" type="checkbox"/>	NO
	YES	
		Page #

Cab should have interior sun visors on both sides of cab.	<input checked="" type="checkbox"/>	NO
	YES	
		Page #

Cab mounting shall be air suspended on dual air bags.	<input checked="" type="checkbox"/>	NO
	YES	
		Page #

Minimum dash features to include: Transmission oil temperature gauge and engine air filter restriction indicator	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

Minimum dash features to include: Full adjusting tilt and telescopic steering column	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

Cab seats should be: Driver National 2000 model 195 High Back air ride design with dual arm rests and cloth/vinyl covering or substantially similar	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
	Page # 1061	

Cab seats should be: Passenger seat to be fixed design	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

Factory installed integral heater/air conditioning with enhanced recirculation control for cold weather.	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

Factory installed integral heater/air conditioning with enhanced recirculation control for cold weather.	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

AM/FM/CD and Bluetooth radio with clock and weather band. Leeds with mirror mounted antennas for entertainment and CB radios.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	YES	NO
Page #		

Additional dash mounted power outlet to be furnished.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	YES	NO
Page #		

Windshield wipers to be two (2) speed electric with washer and intermittent feature.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	YES	NO
Page #		

Power Windows & Door locks for both Driver & Passenger side shall be provided.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	YES	NO
Page #		

Air Brakes

Brake system to be antilock air design with heated Bendix AD-9 air dryer or equivalent.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	YES	NO
Page # 1-2		

Air compressor should have minimum 18.7CFM capacity and increased air reservoir capacity for the installation of a pusher style third axle.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	YES	NO
Page #		

System to include trailer brake piping with an in-cab control valve.	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

Rear axle brake chambers shall be located to provide "Paver" clearance.	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

Frame/Bumper/Fuel Tanks

Front bumper Bright Finish stainless clad aluminum.	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

Fuel tank to be non-polished aluminum with a minimum of 75-gallon capacity, located under driver side door of cab.	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

Front Axle

20,000 lb. design steel I beam front axle	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

20,000 lb. parabolic taper leaf front springs with shock absorbers or equivalent	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

"S" cam design 16.5" x 6" brakes with outboard mounted drums.	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

Front wheels to be Aluminum ten (10) hole hub piloted 22.5" x 12.25".	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

Front tires to be 20 ply 425/65R22.5 radials Continental HTC1 or equal.	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

Steering system shall include dual power gears, to provide maximum torque to steering arms. A single gear and slave cylinder are not acceptable.	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
	Page # 1-4	

Turn angle greater than 38 degrees in both directions with 425 Tires required for job site maneuverability and service access.	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

Rear Axle

46,000# capacity single reduction design tandem rear axle with Lube oil pump, and driver controlled locking differentials in both FWD-RR & RR-RR axles.	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

46,000# rubber spring suspension with restrictor cans, and 8 torque rods Without shocks walking beam design. Chalmers or equal. Differential locking switches for forward & rear axle on separate switches.	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

In cab Power divider lock out valve with warning light and buzzer.	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

"S" cam design 16.5" x 7" brakes with outboard drums.	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

Rear wheels to be Alum Disc (10) hole hub piloted 24.5x 8.25 inside and out.	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

Rear tires to be 11R22 Bringston or equivalent.	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

Body

Equipped with Ox Bodies Stampede body	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

Electric flip roll tarp with spring assist	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

Air lock tail gate	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
	Page #	

Suwannee County RFP 2023-13 Pricing Sheets for Heavy Duty Dump Trucks Acquisition

Ten (10) Heavy Dump Truck Units per Equipment Specifications	
Company Name:	RDK Assets, INC
Manufacturer Name:	Volvo
Current Year & Model:	2023 YHD
Trade-In Amount Offer Per Unit	\$116,000.00
Purchase price for single unit as specified	\$287,500.00 <i>286,000</i>
Purchase price for ten (10) units as specified	\$2,875,000.00 <i>2.860</i>
Total annual lease payment for single unit as specified	\$27,516.00 <i>\$22,805</i>
Total annual lease payment for ten (10) units as specified	\$275,160.00
Finance rate for 2-year lease	7.80%

*4 yrs
per unit
per year*

*Warranty pkg
bumper-to-bumper (non-wearable)
@ 3yr mark
ordering next set
extend for a yr
if necessary*

**SWORN STATEMENT UNDER SECTION 287.133(3)(a),
FLORIDA STATUTES, ON PUBLIC ENTITY CRIMES**

THIS FORM MUST BE SIGNED AND SWORN TO IN THE PRESENCE OF A NOTARY PUBLIC OR OTHER OFFICER AUTHORIZED TO ADMINISTER OATHS.

1. This sworn statement is submitted to Suwannee County
[print name of public entity]
by Joanie Beckwith Executive Secretary
[print individual's name and title]
for RDK Assets, INC
[print name of entity submitting sworn statement]
whose business address is 3214 Adamo Dr. Tampa, FL 33605
and (if applicable) its Federal Employer Identification Number (FEIN) is 862038316 (If the
entity has no FEIN, include the Social Security Number of the individual signing this sworn statement:
_____.)

2. I understand that a "public entity crime" as defined in Paragraph 287.133(1)(g), **Florida Statutes**, means a violation of any state or federal law by a person with respect to and directly related to the transaction of business with any business with any public entity or with an agency or political subdivision of any other state or of the United States, including, but not limited to, any bid or contract for goods or services to be provided to any public entity or an agency or political subdivision of any other state or of the United States and involving antitrust, fraud, theft, bribery, collusion, racketeering, conspiracy, or material misrepresentation.
3. I understand that "convicted" or "conviction" as defined in Paragraph 287.133(1)(b), **Florida Statutes**, means a finding of guilt or a conviction of a public entity crime, with or without an adjudication of guilt, in any federal or state trial court of record relating to charges brought by indictment or information after July 1, 1989, as a result of a jury verdict, nonjury trial, or entry of a plea of guilty or nolo contendere.
4. I understand that an "affiliate" as defined in Paragraph 287.133 (1)(a), **Florida Statutes**, means:
1. A predecessor or successor of a person convicted of a public entity crime; or
 2. An entity under the control of any natural person who is active in the management of the entity and who has been convicted of a public entity crime. The term "affiliate" includes those officers, directors, executives, partners, shareholders, employees, members, and agents who are active in the management of an affiliate. The ownership by one person of shares constituting a controlling interest in another person, or a pooling of equipment or income among persons when not for fair market value under an arm's length agreement, shall be a prima facie case that one person controls another person. A person who knowingly enters into a joint venture with a person who has been convicted of a public entity crime in Florida during the preceding 36 months shall be considered an affiliate.

5. I understand that a "person" as defined in Paragraph 287.133(1)(e), Florida Statutes means any natural person or entity organized under the laws of any state or of the United States with the legal power to enter into a binding contract and which bids or applies to bid on contracts for the provision of goods or services let by a public entity, or which otherwise transacts or applies to transact business with a public entity. The term "person" includes those officers, directors, executives, partners, shareholders, employees, members, and agents who are active in management of an entity.

6. Based on information and belief, the statement which I have marked below is true in relation to the entity submitting this sworn statement. **[indicate which statement applies.]**

- Neither the entity submitting this sworn statement, nor any officers, directors, executives, partners, shareholders, employees, members, or agents who are active in the management of the entity, nor any affiliate of the entity has been charged with and convicted of a public entity crime subsequent to July 1, 1989.
- The entity submitting this sworn statement, or one or more of its officers, directors, executives, partners, shareholders, employees, members or agents who are active in management of the entity, or an affiliate of the entity has been charged with and convicted of a public entity crime subsequent to July 1, 1989.
- The entity submitting this sworn statement, or one or more of its officers, directors, executives, partners, shareholders, employees, members, or agents who are active in the management of the entity, or an affiliate of the entity has been charged with and convicted of a public entity crime subsequent to July 1, 1989. However, there has been a subsequent proceeding before a Hearing Officer of the State of Florida, Division of Administrative Hearings and the Final Order entered by the hearing Officer determined that it was not in the public interest to place the entity submitting this sworn statement on the convicted vendor list. **[attach a copy of the final order]**

I UNDERSTAND THAT THE SUBMISSION OF THIS FORM TO THE CONTRACTING OFFICER FOR THE PUBLIC ENTITY IDENTIFIED IN PARAGRAPH 1 (ONE) ABOVE IS FOR THAT PUBLIC ENTITY ONLY AND, THAT THIS FORM IS VALID THROUGH DECEMBER 31 OF THE CALENDAR YEAR IN WHICH IT IS FILED. I ALSO UNDERSTAND THAT I AM REQUIRED TO INFORM THE PUBLIC ENTITY PRIOR TO ENTERING INTO A CONTRACT IN EXCESS OF THE THRESHOLD AMOUNT PROVIDED IN SECTION 287.017, FLORIDA STATUTES FOR CATEGORY TWO OF ANY CHANGE IN THE INFORMATION CONTAINED IN THIS FORM.

Jeannie Beckwith
[signature]

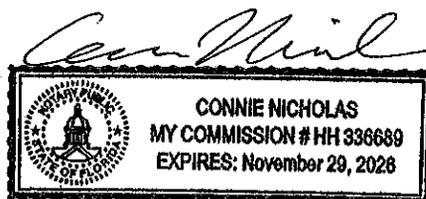
Sworn to and subscribed before me this 19 day of July, 20 23.

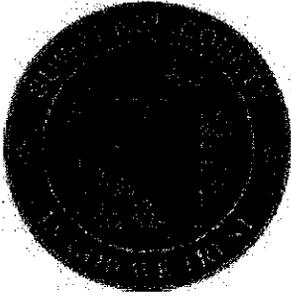
Personally known

OR Produced identification _____ Notary Public - State of Florida

My commission expires Nov. 29, 2026
(Type of Identification)

(Printed typed or stamped Commissioned name of Notary Public)





Board of County Commissioners

13150 80th Terrace Live Oak, FL 32060

Franklin White, Chairman

E-Verify for
RFP No. 2023-13
HEAVY DUTY DUMP TRUCK ACQUISITION
Suwannee County, Florida

Company/Entity: RDK Assets, Inc

Authorized Signature: [Handwritten Signature]

The Company acknowledges and agrees to utilize the U. S. Department of Homeland Security's E-verify system in accordance with the terms governing use of the system, for the purpose of confirming the employment eligibility of all employees, subcontractors or persons utilized by the Company while undertaking work within Suwannee County.

REFERENCES

List three (3) local government entities the company has done business with during

1. Company name Baynton Beach the past five (5) years.
Address P.O. Box 310 Baynton Beach, FL 33425
Contact Name Adriana Greco-Arencibia
Contact Phone or e-mail 561-742-6596
Short description of project Lease with RDK
BID awarded with RDK
2. Company name Madison County
Address 321 Rutledge St. Madison, FL 32340
Contact Name Jerome WYCHE
Contact Phone or e-mail 850-973-5081 swcoord@madisoncountyfl.com
Short description of project 13 month lease of grapple &
rear load garbage trucks.
3. Company name City of Bainbridge
Address 101 S. Broad St. Bainbridge, GA 39818
Contact Name Johnny Broxton
Contact Phone or e-mail 229-248-2019 johnnyb@bainbridgecity.com
Short description of project lease trucks

**RFP NO. 2023-13
HEAVY DUTY DUMP TRUCK ACQUISITION
SUWANNEE COUNTY, FL**

Failure to Perform Questionnaire

Name of Company: RDX Assets Inc

1. Has the company been involved in any litigation within the last (5) five years for failure to perform?

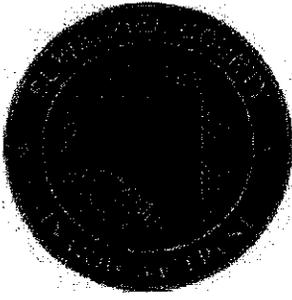
Yes _____ No

If yes, explain:

2. Has a bond company or other insurance been utilized to complete a project for the company within the last (5) five years?

Yes _____ No

If yes, explain:



Board of County Commissioners

13150 80th Terrace Live Oak, FL 32060

Franklin White, Chairman

RFQ No. 2023-13
HEAVY DUTY DUMP TRUCK ACQUISITION
SUWANNEE COUNTY, FL

NONDISCRIMINATION POLICY ACKNOWLEDGEMENT

RDK Assets, Inc (Company Name) is familiar with the
Suwannee County Board of County Commissioners Nondiscrimination Policy and is hereby committed to
complying with same.

Accepted By/Authorized Representative:

Joanie Beckwith
(Print Name)

Joanie Beckwith
(Signature)

7/19/23
(Date)

Please complete and submit this form with all of you RFP documents

13 July 2023

RE: Addendum #1 to RFP 2023-13

To Whom It May Concern:

Please note, the following clarification is being provided to questions that have been asked pertaining to RFP 2023-13 Heavy Duty Dump Truck Acquisition, Suwannee County, FL:

1. Specifications Page 1 of 13, bumper to bumper warranty covering entirety of the equipment (truck chassis & body) for the lease period. Does this include Oil & Filters and Tires?

ANSWER: The County requires the vendor/supplier of new trucks to extend the manufacturer's warranty for an additional year (12 mos) to cover the vehicle(s) during the full 2-year lease term. Normal wear and tear items (i.e. non-warranty items) can be addressed in a maintenance package if a participant so desires or they may choose to defer responsibility for non-warranty items to the County.

2. Specification Page 9 of 13, Rear Wheels 24.5 x 8.25, but requested tires are 11R22.5? Which size is the County requesting?

ANSWER: The County requires 11R22.5 tires.

3. Specification Page 11 of 13, Will all of the Trade-In trucks be TRADE TERMS at the time of the Winning Bidder's acquisition?

ANSWER: The County makes no warrant or representation regarding the equipment and the condition of trucks is presented "as is" for interested parties. It is the responsibility of the party interested in purchasing the trucks to perform their own evaluation/assessment regarding the condition of the trucks.

4. Specification Page 13 of 13, Total Annual Lease payment, Does the County intend on paying the first Annual Lease payment at the time of delivery and the 2nd payment 12 months later? If so, then the County would forfeit the trucks at exactly the end of the 24th month?

ANSWER: The County will pay the first annual payment shortly after the lease agreement is fully executed between the parties. The second annual payment

ADDENDUM ACKNOWLEDGEMENT

This is to certify that I have received a copy of Addendum #1 for RFP 2023-13 Heavy Duty Dump Truck Acquisition, Suwannee County, FL.

Joanie Beckwith
Print Name

Joanie Beckwith
Signature

7-19-2023
Date

(INCLUDE THIS DOCUMENT IN PROPOSAL PACKAGE)

STANDARD TRUCK WARRANTY CERTIFICATE



Volvo Group North America LLC, d/b/a Volvo Trucks North America, warrants certain individual components of the new Volvo truck to be free from defects in material and workmanship under normal use and service up to the periods as specified, provided all Volvo Trucks North America maintenance and inspection requirements found in the Operator's Manuals and service manuals/instructions are followed. All warranty periods are calculated from date in service. All coverage is 100% for parts and labor except as noted.

LIMITATIONS AND EXCLUSIONS TO THIS WARRANTY APPEAR ON THE REVERSE SIDE OF THIS CERTIFICATE. THESE LIMITATIONS AND EXCLUSIONS ARE IMPORTANT AND MUST BE READ AND UNDERSTOOD.

This warranty applies to Model Year 2011 VNL, VNM and VHD models manufactured by Volvo Trucks North America with EPA'10 Engine Emissions operated in the United States and Canada. Specific coverage is based on the application and weight class as described in the following chart:

	Standard NORMAL DUTY	Standard HEAVY DUTY *	Standard SEVERE DUTY
Typical Vocations	Line / Long Haul, Short Haul, or Pickup & Delivery	Heavy Line Haul, Construction, Refuse, Fire or Rescue Service	Heavy Construction, Heavy Refuse, Off- Road, Heavy Haul, Mining, Logging, or Oil Field
Weight Class Qualifications	<i>Vehicle must have</i> GVWR ≤ 63,000 lbs. (≤ 28 metric tons) or GCWR ≤ 110,000 lbs. (≤ 50 mt.)	<i>Vehicle must have</i> GVWR ≤ 80,000 lbs. (≤ 36 mt.) or GCWR ≤ 143,000 lbs. (≤ 65 mt.)	<i>Vehicle must have</i> GAWR > 46,000 lbs. (> 21 mt.) or GVWR > 80,000 lbs. (> 36 mt.) or GCWR > 143,000 lbs. (> 65 mt.)
Basic Coverage	12 months or 100,000 miles (161,000 km) or 3,250 operating hours	12 months or 100,000 miles (161,000 km) or 3,250 operating hours	12 months or 100,000 miles (161,000 km) or 3,250 operating hours
Chassis Towing	Towing/Road Service coverage is limited to 90 days or 5,000 miles, whichever occurs first		Not Applicable
Air Conditioning	Air conditioning (sealed system only) is covered for 12 months with no mileage limitation.		
Engine / Emission	Not covered under this warranty certificate. See respective engine manufacturer's warranty certificate and paragraph 15 on the reverse side.		
Transmission, Driveline, Rear Axle, Front Non-Drive Steer Axle	36 months or 350,000 miles (563,000 kilometers) or 9,000 operating hours Covered Components are as follows: • Manual Transmission—Transmission assembly • Driveline—Bearings, hangers & shafts • Rear Axle—Differential carrier assembly & axle housing • Front Non-Drive Steer Axle—Axle beam, steering knuckle, & tie rod Allison Automatic Transmissions are not covered under this warranty certificate. See paragraph 15 on the reverse side.		12 months or 100,000 miles (161,000 km) or 3,250 operating hours
I-Shift Transmission	Engine Torque ≤ 1750 ft/lb: 60 months or 750,000 miles (1,207,000 km) or 15,000 operating hours Engine Torque > 1750 ft/lb: 36 months or 500,000 miles (805,000 km) or 12,500 operating hours	36 months or 250,000 miles (402,000 km) or 6,250 operating hours	12 months or 100,000 miles (161,000 km) or 3,250 operating hours
I-Shift Clutch	36 months or 300,000 miles (480,000 km) or 7,500 operating hours	36 months or 250,000 miles (402,000 km) or 6,250 operating hours	12 months or 100,000 miles (161,000 km) or 3,250 operating hours
I-Shift Towing	Towing and Roadside Assistance on warrantable failures are covered for 24 months or 250,000 miles whichever occurs first		Not Applicable
Cab Structure	60 months or 500,000 miles (805,000 km) or 12,500 operating hours	60 months or 500,000 miles (805,000 km) or 12,500 operating hours	36 months or 250,000 miles (402,000 km) or 9,000 operating hours
Internal Cab Corrosion	60 months or 500,000 miles (805,000 km) or 12,500 operating hours	60 months or 500,000 miles (805,000 km) or 12,500 operating hours	48 months or 350,000 miles (563,000 km) or 10,800 operating hours
Frame Rail / Crossmembers	Covered only where metal is perforated from the inside to the outside. See paragraph 14 on the reverse side.		
	72 months or 750,000 miles (1,207,000 km) or 15,000 operating hours	60 months or 500,000 miles (805,000 km) or 12,500 operating hours	36 months or 250,000 miles (402,000 km) or 9,000 operating hours
Noise Emission	LIFE OF VEHICLE: Volvo Trucks North America warrants to the first purchaser of this vehicle for purposes other than resale, and to each subsequent purchaser, that this vehicle was designed, built and equipped to conform, at the time of sale to such first purchaser, with all applicable U.S. EPA noise control regulations. This warranty is not limited to any vehicle particular part, component, or system of the vehicle. Defects in the design, assembly or any part, component or system of the vehicle which at the time of sale to such first purchaser, caused noise emission levels to exceed Federal standards are covered by this warranty for the life of the vehicle. EXCLUSIONS: Failures which arise as a result of tampering rather than from defects in the design, assembly, or any part, components, or system of the vehicle are not covered by this warranty.		

Volvo Trucks North America reserves the right to make any changes in design or to make additions to or upon its products without incurring any obligations to install the same on vehicles previously built.

2 effe



**VOLVO TRUCKS WARRANTY CERTIFICATE FOR
CHASSIS PROTECTION PLAN 2
(EPA 2014 and LATER)**

Volvo Group North America LLC, d/b/a Volvo Trucks North America ("Volvo Trucks"), warrants certain individual components of each new Volvo truck to be free from defects in material and workmanship under normal use and service up to the periods specified, provided all Volvo Trucks maintenance and inspection requirements are followed. This extended coverage plan ("Protection Plan") provides additional coverage from failures of specified components or parts ("Covered Parts") that may occur after the Volvo Standard Truck Warranty has expired and until the expiration of this Protection Plan. All warranty periods are calculated from original date in service. This Protection Plan applies only to Volvo trucks operated exclusively in the United States and Canada.

Volvo Trucks' obligation under this Protection Plan is limited to, at its sole option, repair or replacement at a Volvo Trucks authorized dealer of Covered Parts that are returned within the coverage period and acknowledged by Volvo Trucks to be defective. Covered repairs must be performed by a Volvo Trucks authorized dealer. All coverage is 100% for parts and labor except as noted. All parts replaced shall become the property of Volvo Trucks.

This Protection Plan provides coverage for the following Covered Parts until the earliest to occur of the time/mileage purchased, subject to the following Qualifications and Limitations.

Chassis Plan 2 Covered Parts List

Air System	Qualifications and Limitations
Air Dryer	Includes: Purge Valve and Relief Valve Excludes: Maintenance
Air Governor	
Air Reservoir	
Cowl Vent	
Brakes & Wheel Ends	Qualifications and Limitations
ABS	Includes: Control Module, Relay Valves, Modulators, Wiring Harness and Sensors
Axle Shafts	
Brake Assembly	Includes: Cam Roller, Return Spring and Spider Excludes: Brake Lining, Rotors, and Wear and Tear Items
Brake Chamber	
Brake Piping	Includes: Piping Excludes: Plastic Airline Piping
Brake Valves	Includes: ATC Valve
Disc Brake Calliper	Excludes: All Bushings
Hub	Includes: Hub, Hub Caps and Wheel Bearings Excludes: Wheels/Rims and Wheel Seals
Hubodometer	
Slack Adjuster	
Continued on Page 2...	

THIS WARRANTY IS MADE EXPRESSLY IN LIEU OF ANY OTHER WARRANTIES OR CONDITIONS, STATUTORY OR OTHERWISE, EXPRESSED OR IMPLIED, INCLUDING ANY IMPLIED WARRANTY OR CONDITION OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE, AND OF ANY OTHER OBLIGATION OR LIABILITY ON THE PART OF THE MANUFACTURER INCLUDING, WITHOUT LIMITATION OF THE FOREGOING, CONSEQUENTIAL AND INCIDENTAL DAMAGES. MACK TRUCKS, INC. NEITHER ASSUMES NOR AUTHORIZES ANY PERSON TO ASSUME FOR IT ANY OTHER LIABILITY IN CONNECTION WITH THE SALE OF VEHICLES, COMPONENTS OR PARTS.

This Warranty is subject to Volvo Truck's Standard Warranty Limitations and Exclusions, which are printed on Page 5 of this Warranty Certificate and are available through a Volvo Trucks authorized dealer.

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Chassis Plan 2 Covered Parts List (Continued from page 1)

Cab Covered Components	Qualifications and Limitations
Bumper and Bumper Brackets	
Cab	Includes: Frame of Cab, Cab Mounting Excludes: Corrosion, Glass, Paint and Shock Absorbers
Cab Steps	
Charge Air Cooler	Includes: Charged Air Cooler Piping
Door	Includes: Hinges, Handles, Door Post Lock, Hinge, Locks and Window Regulator Excludes: Glass
Gear Shifter and Assembly	Includes: Knob, Piping, Selector and Wires Excludes: Vendor Transmission Gear Selectors
Factory-Installed Air Fairing, Deflectors and Extensions	Limited to: Chassis Fairings, Ground Effect Extensions, Roof Deflectors, Cab Side Deflectors, Adjustable Roof Extensions, Side Deflector Extensions, Bumper Deflectors, A-pillar Deflectors
Grab Handles	
Hood Assembly	Includes: Grill, Hood, Hood Mounting, Ornament, Base and Release Cable Excludes: Hood struts / Shock Absorbers
Interior Trim	Excludes: Wear and Tear
Keyless Entry	Receiver Module and Transmitter
Mirrors	Includes: Mounting Hardware
Pedals	Includes: Accelerator, Brake and Clutch Pedal and Interior Linkage
Seats	Includes: Seats, Safety Belts and Air Springs Excludes: Shock Absorbers
Sleeper Box	
Sun Visor	Includes: Interior Visor and Factory-Installed Exterior Visors
Windshield Seal	Includes: Front and Rear Windshield Seal Excludes: Windshield
Windshield Washer & Wiper System	Includes: Reservoir, Piping, Nozzles, Wiper Motor, Arms, Linkage and Valve Excludes: Wiper Blades
Telematics	Qualifications and Limitations
Telematics Hardware (Factory Installed)	Includes: Wiring Harness Excludes: Software and Software Updates
Driveline	Qualifications and Limitations
Center Hanger Bracket and Bearing	
Drive Shafts, U-Joints & Yokes	Includes: Sealed U-Joints Excludes: Greaseable U-Joints
Electrical Covered Components	Qualifications and Limitations
Alternator	Includes: Mounting and Pulley
Appliances, Audio and Video	Includes: Factory Installed Camera, Camera module and Radio Excludes: TV, DVD, Microwave, Refrigerator, Remote Controls and Communication Radio
Battery Cables	Excludes: Battery and Corrosion Damage
Inverter	Includes: Factory Installed AC/DC and DC/DC converter
Circuit Breakers	Excludes: Fuses
Fuse Box	Excludes: Fuses
Instrument Panel	Includes: Alarm, Assembly, Speedometer, Tachometer, and Display Excludes: Bulbs
Lights	Includes: LED light assemblies (module, control unit, fan and heat sink) Excludes: Bulbs/Fluorescent Lights/Ballasts
Relays	Includes: DRL Excludes: Starter Motor AUX Relay located on starter
Continued on Page 3...	

This Warranty is subject to Volvo Truck's Standard Warranty Limitations and Exclusions, which are printed on Page 5 of this Warranty Certificate and are available through a Volvo Trucks authorized dealer.

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Chassis Plan 2 Covered Parts List (Continued from page 2)

Sensors	Excludes: Engine Mounted Sensors, EATS Sensors, Transmission and non-proprietary Sensors
Starter	Includes: Starter Motor and Relay Excludes: Solenoid and AUX Relay, Starters on Cummins CNG engines
Switches	
Vehicle Electronic Control Unit	
Wire Harness	Includes: Cab and Chassis Related Harnesses Excludes: EATS, EGR Wire Harness, Engine Harness, Block Heater, Vendor Harness, and Traller Cables
Engine Accessories	Qualifications and Limitations
Air Cleaner Housing	Includes: Housing, Indicator, Mounting and Piping
Chassis Mounted Engine Oil Filter Mounting	
Exhaust System Shields	Excludes: Flex Pipe
Expansion Tank and Mounting	Includes: Cap, Tank and Mounting
Fan	Includes: Fan Drive, Shroud and Fan Spacer Excludes: All Belts, Tensioners and Idler on the Engine
Fuel Tank	Includes: Tank, Mounting, Piping (from tank to primary fuel filter), Valve and Fuel Tank Level Sensor Excludes: Alternate Fuel Storage
Fuel Warmer and Separator	Excludes: Filter and Seal
Oil Filler	Includes: Tube, Cap, Dipstick Guide and Dipstick
Radiator	Includes: Radiator, Cap and Mounting Excludes: All Bushings
Transmission Mounting	
Frame	Qualifications and Limitations
Battery Box	
Crossmembers	Includes: Hulk Bolts Excludes: Mud Flaps and Brackets
Engine Mounting	Excludes: Engine Mount Isolators / Shock Absorbers, all Bushing and Rubber Cushions
Fifth Wheel (Factory Installed)	Includes: Deckboard, Helper, Ramp and Air Cylinder
Tow Hook	
HVAC	Qualifications and Limitations
Air Conditioner Compressor	Includes: Pulley and mounting bolts
Air Conditioning Condenser	Dryer covered only when replacement is necessary due to a failure of a covered part.
Air Conditioning Evaporator	
Auxiliary Climate Unit	Includes: Parking Heater and Wiring Harness Excludes: Battery Powered Parking Cooler
Blower Motor	Includes: Resister
Expansion Valve	
Heater Controls	
Heater Control Valve	
Heater Core	
Heater Ducts	
Continued on Page 4...	

This Warranty is subject to Volvo Truck's Standard Warranty Limitations and Exclusions, which are printed on Page 5 of this Warranty Certificate and are available through a Volvo Trucks authorized dealer.

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Chassis Plan 2 Covered Parts List (Continued from page 3)

Heater Fan	
Heater Housing and Drain Pan	
Heater Thermostat	
Lines and Tubes	Includes: A/C Hoses
Mode Box	
Mounting Brackets and Braces	
Safety Options	Qualifications and Limitations
Collision Avoidance System (Factory Installed) VADA	Includes: Windshield Camera, Forward Radar, Control Unit, Forward Collision Display, Sensors Excludes: Windshield
Lane Departure System (Factory Installed)	Includes: Windshield Camera, Lane Change Support Display, Control Unit, Sensors Excludes: Windshield
Blind Spot Detection System (Factory Installed)	Includes: Side Radar Unit, Side Object Detection Display, Radar Bracket
Steering	Qualifications and Limitations
Active Steering System (Factory Installed) Dynamic Steering	Includes: Steering Gear and Electronic Control Unit
Steering Axle I Beam	
Steering Column	Includes: Column Lock, Cable
Steering Gear	Includes: Bearing, Drag Link, Mounting Bracket, Pitman Arms and Seals Excludes: All Bushings
Steering Knuckle	Excludes: Bearings, Bushing and King Pin
Steering Pump	Includes: Reservoir
Steering Shaft	Includes: U-Joint
Steering Wheel	Includes: Horn Button and Contract Ring Excludes: SRS Airbag
Cross Steering Tube	Includes: Tie Rods Excludes: Tie Rod Ends
Suspension	Qualifications and Limitations
Liftable Axles (Factory Installed)	Includes: Electric Control System, Pressure Sensor, Level Control, Torsion Shaft, Electrical Parts
Shock Absorber Mounting Brackets	Excludes: Shock Absorbers
Spring Mounting Brackets, Clips and Huck Bolts	
Springs Front, Rear and Helper	
Stabilizer Bar and Brackets	
Suspension	Limited to: OEM Suspension and Hendrickson-Manufactured Suspension Components Excludes: Air Bags
Torque Rod	Excludes: All Bushings, Spring Pin
Transmission Oil Cooler & Piping	Qualifications and Limitations
Transmission Oil Cooler & Piping	Limited to: OEM Installed Chassis Mounted
All Transmissions and Clutches	Excluded: All Transmissions and Clutches

LIMITATIONS AND EXCLUSIONS ARE LISTED ON THE FOLLOWING PAGE

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THESE LIMITATIONS AND EXCLUSIONS ARE IMPORTANT AND MUST BE READ AND UNDERSTOOD.

LIMITATIONS: Volvo Trucks North America's obligation is limited to, at its sole option, repair or replacement of parts which are acknowledged by it to be defective. The defective parts or assemblies replaced shall become the property of Volvo Trucks North America. Warranty repairs performed by an authorized Volvo dealer in accordance with the terms of the warranty set forth herein are free of charge. Warranty consideration can only be given if the deficiency is brought to the attention of an authorized Volvo Truck dealer upon discovery and the vehicle must be made available, in a timely fashion during the coverage period, for repair.

EXCLUSIONS:

1. **REPAIR:** In the case of acknowledged defective Covered Parts, exchange with factory remanufactured parts may occur. Warranty repairs do not constitute an extension of any warranty period for any vehicle, component or part.
2. **DAMAGES:** Damages due to misapplication, misuse, accidents, negligence, improper operations, alterations, storage or transport, operation at excessive speeds, loading beyond the factory rated load capacity, failure to follow Volvo Trucks' recommended inspection, maintenance, and service procedures, and improper or insufficient maintenance services are not covered.
3. **PROGRESSIVE DAMAGE:** Damages due to failure of operator to take reasonable precautions to mitigate damage are not covered. Damages to a Covered Part due to failure of non-covered part are not covered. Coverage is limited to failure of a Covered Part directly causing failure of a non-covered part, where reasonable precautions were taken to mitigate damages.
4. **APPLICATION:** The selling dealer is responsible for designating the correct application and/or specification for a vehicle sold to a customer. Damages due to misapplication, including but not limited to, failures of component parts of vehicles being operated in excess of factory rated load capacities, or the use of a vehicle, component or part for a purpose for which it was not intended are not covered.
5. **ALTERATIONS:** Any vehicle, component or part repaired, altered, or inspected in any way, so as to adversely affect, in Volvo Trucks' sole judgment, its stability, durability, or reliability, is not covered.
6. **NON-ORIGINAL EQUIPMENT:** Any part of the vehicle that fails, malfunctions, or does not perform as a result of improper conversion or installation of bodies or equipment by other manufacturers or suppliers is not covered.
7. **MAINTENANCE AND PARTS CONSUMED:** Maintenance and inspection requirements found in the Operator's Manuals and service manuals/instructions, including, but not limited to, engine tune-up, fuel system cleaning, replacement of lubricants and filter elements, adjustments of the engine injection pump/transmission/brakes/linkages, as well as diagnosis, test time and all other adjustments must be followed and are not covered. Parts which are normally consumed or worn out during the vehicle's normal service life and customarily replaced during usual maintenance service, including, but not limited to, mud flaps and brackets, brake linings, clutch brake, and clutch linings, are not covered.
8. **PERFORMANCE COMPLAINTS:** Performance complaints are not covered (including, but not limited to, low power and/or poor fuel economy). Coverage is limited to defects in material and workmanship of a Covered Part directly causing the performance issue.
9. **WEAROUT:** Volvo Trucks does not cover normal wear of Covered Parts. Failures attributable to wear are excluded. For example and without limitation, the wear rate of parts in any engine or transmission, and especially those parts within the combustion area and clutch housing area, will vary depending upon operating conditions and environment. Conditions, such as load, trailer configuration, road speed and road conditions, as well as the quality of fuel, lubrication oil, and air filters bear a direct relationship to the wear rate and resulting life of parts. Depending upon the severity of these various conditions, parts wear and resulting failure could occur within the time limit of the coverage.
10. **NON-GENUINE PARTS:** Any failure of any vehicle, component or part caused by the use of parts and accessories, or major assemblies and exchange units, which do not meet factory standards is not covered.
11. **ODOMETER READING:** Any vehicle on which the actual mileage or hours cannot readily be determined, or on which the odometer, hour meter, or Electronic Control Unit has been disconnected, disabled, or altered, may not be covered by this warranty.
12. **ACCESS TO INFORMATION:** Owner must allow Volvo Trucks full access to all data stored in all Electronic Control Modules; failure to do so may result in the loss of warranty coverage.
13. **LABOR:** Labor to remove and install a Covered Part is included only if a Volvo Trucks authorized dealer originally installed the Covered Part. Labor for overtime and/or shift differential is not covered. Excessive labor for a warrantable repair due to the prior installation of equipment or body is not covered.
14. **MISC. EXPENSE:** Meals, lodging, communications charges, travel time and expense, loss of cargo, downtime, loss of profit/revenue, rental vehicles, driver's wages and other miscellaneous expenses are not covered. Shop supplies, lube oil, lubricants, sealers, anti-freeze, filter elements and labor performed by a non-approved location are not covered.
15. **ADDITIONAL COMPONENTS:** Components or parts that are not installed by Volvo Trucks, including winches, power take-offs, dumper, mixer and refuse assemblies, hoists and bodies or other special equipment are not covered. During a warrantable repair, additional time to remove any customer installed components will not be covered under warranty. Volvo Trucks' factory manufacturing records will be determinative as to factory installed components.
16. **TOWING:** Unless expressly provided in this Warranty Certificate, expenses for towing or road service are not covered. Failures caused by improper towing technique are not covered.
17. **SUSPENSION PARTS:** Suspension parts, including but not limited to rubber bushings, torque rod bushings, spring pins and bushings, and greased lubrication points that fail due to improper maintenance, abnormally severe service or abuse are not covered.
18. **CAB STRUCTURE AND CORROSION:** Cab structural defects or cab corrosion that occurs in areas of the cab that previously were damaged, repaired, altered or modified are not covered. Cab corrosion where metal is perforated from the outside to the inside is not covered.
19. **VENDOR ENGINES, ALLISON AUTOMATIC TRANSMISSIONS and ALTERNATE FUEL STORAGE AND DELIVERY SYSTEMS:** Vendor engines, Allison automatic transmissions and alternate fuel (CNG/LNG/DME) fuel storage/delivery components used in Volvo trucks are warranted by their respective manufacturers and not by Volvo Trucks. Refer to the manufacturers' warranty statements.
20. **OIL CONSUMPTION:** Before a claim based upon excessive oil consumption will be considered, the owner must provide proof that all recommended maintenance has been performed and submit adequate documentation to show that oil consumption exceeds Volvo Trucks' published standards. Under no circumstances will warranty pay for repairs related to excessive oil consumption after the earlier of 24 months, 250,000 miles, or 402,000 kilometers.
21. **ENVIRONMENTAL DAMAGE:** Parts made out of cloth, leather, wood, rubber, synthetics, paint or chrome which have been affected by exposure to the elements or chemical influence including, but not limited to, road salt/chemicals, industrial fall-out or the use of improper cleaners, polishes and/or waxes are not covered.
22. **ALIGNMENT:** Alignment of axle(s), balance of tires, changing of axle camber, caster, toe and thrust angle are not covered.
23. **GLASS:** Glass breakage and scratches are not covered unless physical proof of manufacturing responsibility is established.
24. **TIRES:** Except as expressly provided in warranty certificates covering Green House Gas (GHG) components, tires are covered only under warranties provided by the tire manufacturer.
25. **CHANGES:** Volvo Trucks reserves the right to make any changes in design, or make additions to or upon its products, without incurring any obligations to install the same changes on vehicles previously built.

VOLVO

Volvo Trucks North America
Post Office Box 26115
Greensboro, North Carolina 27402-6115

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Engine

Engine is a 13-liter D13 with 500 HP and 1850-foot pound of torque for greater fuel economy and performance (exceeds specs)

2 of 3

TECHNICAL SPECIFICATION *(cont.)*

ENGINE	DESCRIPTION	WEIGHT(LB)	
		FRONT	REAR
* ENGINE PACKAGE	VOLVO D13 500HP 2100RPM 1850 LBFT - EPA'21 EMISSION LEVEL	347	0

ENGINE EQUIPMENT	DESCRIPTION	WEIGHT(LB)		
		FRONT	REAR	
S AIR CLEANER	SINGLE STAGE AIR CLEANER	0	0	
S AIR INTAKE	HOOD MOUNTED AIR INTAKE	0	0	
	RADIATOR	1240 SQ IN, 2 ROW CORE RADIATOR	18	0
S RADIATOR COOLANT	EXTENDED LIFE ETHYLENE GLYCOL ANTI-FREEZE (RED), -34 F (-37 C)	0	0	
S FAN CLUTCH PACKAGE	ELECTRONIC VISCOUS CSI FAN CLUTCH	0	0	
S STARTER MOTOR	DELCO REMY 12V 39MTHD STARTER	0	0	
* S ALTERNATOR	160 AMP DELCO REMY 28SI ALTERNATOR (12V)	0	0	
	BATTERY PACKAGE	3 VOLVO 760 CCA MAINTENANCE FREE 12V BATTERIES, 2280 CCA	36	12
S BATTERY BOX MOUNTING	BATTERY BOX, LEFT HAND SIDE, BEHIND FRONT FENDER	0	0	
S BATTERY BOX CONFIGURATION	BATTERY BOX - 3 CAPACITY	0	0	
S BATTERY BOX COVER	BASIC BATTERY BOX COVER	0	0	
S BATTERY DISCONNECT SWITCH	MANUAL BATTERY DISCONNECT MAIN SWITCH	0	0	
	DIESEL EXHAUST FLUID TANK	8.7 GALLON LH 26", FUEL TANK MOUNTED - VHD ONLY (FILLED WITH 8.7 GALLONS OF DEF, WEIGHING 79 LBS)	95	51
* EXHAUST SYSTEM	INTEGRATED DPF & SCR FORWARD MTD RHS UNDER CAB W/ CAB MTD VERTICAL PIPE	0	0	
S EXHAUST OUTLET PACKAGE	10' 0" ALUMINIZED STAINLESS STEEL SINGLE STACK	0	0	
S EXHAUST FEATURES	STRAIGHT STACK, SIDE OUTLET DIFFUSER BOX	0	0	
S EXHAUST SHIELD	ALUMINUM EXHAUST SHIELD	0	0	
S PRIMARY FUEL FILTER	VOLVO DUAL ENGINE MOUNTED FUEL FILTERS WITH WATER SEPARATOR	0	0	
S PRIMARY FUEL FILTER LOCATION	STANDARD FUEL FILTER LOCATION	0	0	
S AUX. FUEL SYSTEM EQUIPMENT	RETURN FUEL RECIRCULATION VALVE	0	0	
* S COMPRESSOR	WABCO 31.8 CFM COMPRESSOR	0	0	
	ENGINE OIL PAN HEATER	120 VOLT, 150 WATT OIL PAN HEATER	5	0
	ENGINE BLOCK HEATER	PHILLIPS 120V 1500W LEFT HAND RECEPTACLE BLOCK HEATER	5	0
S ENGINE BRAKE ACTIVATION	ENGINE BRAKE ACTIVATION, BASIC	0	0	
S ENGINE OIL PAN	STAMPED STEEL OIL PAN (STANDARD OIL CHANGE INTERVALS)	0	0	

TRANSMISSION	DESCRIPTION	WEIGHT(LB)		
		FRONT	REAR	
* TRANSMISSION PACKAGE	VOLVO 13 SPEED I-SHIFT SEVERE DUTY, LOW CRAWLER / LOW REVERSE GEAR, OVERDRIVE	75	25	
S TRANSMISSION ELECTRONICS PACKAGE	PERFORMANCE (VOCATIONAL) I-SHIFT TRANSMISSION ELECTRONICS	0	0	
	GEAR SHIFT CONTROL	GEAR SHIFT, DASH MOUNTED, PREMIUM, VOLVO I-SHIFT	0	0
S TRANSMISSION AUTO NEUTRAL ON P-BRAKE	VOLVO I-SHIFT TRANSMISSION AUTO NEUTRAL ON PARK BRAKE	0	0	
S TRANSMISSION OUTPUT TORQUE	STANDARD OUTPUT TORQUE	0	0	
S ALLISON INPUT AND OUTPUT PACKAGE	NO ALLISON INPUT AND OUTPUT PACKAGE	0	0	
S FUEL SENSE PACKAGE	NO FUEL SENSE PACKAGE	0	0	
S TRANSMISSION COOLER	WATER TO OIL TRANS COOLER MOUNTED ON TRANSMISSION	0	0	

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Chassis ID
NR 620132

Path
20/Specifications//Specifications

Model
VHD

Identity
171766572

Publish date
3/31/2023

ID/Operation

General

Weights and dimensions

Engine type	In-line direct injection diesel	
Number of cylinders	6	
Displacement	13 L	
Swept volume	12.78 L	
Cylinder bore and stroke	131 x 158 mm (5.16 x 6.22 in)	
Emissions level	EPA 07: 2.5 g NOx; 0.1 g Pt maximum US2010, US2014, US2017, US2021, EURO 3/4/5: 0.2 g/hp-hr NOx maximum	
Fuel system	US2014, EURO 3/4/5: Dual solenoid electronic injector US2017, US2021: Common rail	
Valve actuation	Single overhead camshaft, four valves per cylinder	
Aspiration	Variable geometry turbocharger with the sliding nozzle ring Fixed turbocompound	
Cylinder and piston type	Wet sleeve; one-piece steel piston	
Electronic control	Volvo VECTRO electronic management system	
Emission controls	EPA 07: Cooled EGR; Diesel Particulate Filter (DPF) US2010, US2014, US2017 and US2021: Cooled EGR; Diesel Particulate Filter (DPF); Selective Catalytic Reduction (SCR)	
Peak power ratings	375 – 505 hp	
Peak torque ratings	1965 – 2373 Nm (1450 – 1750 ft-lb)	
Governed rpm	2100 rpm	
Weight	Approximately 1130 kg (2500 lb)	
Firing order	1-5-3-6-2-4	
Compression ratio	EM-EC06, EM-USA07 to EM-USA14	16:1
	EM-USA17	17:1

1 of 3

Transmission

Transmission is a Volvo I-shift severe duty 13-speed with 14.94 to 1 reduction for paver applications (exceeds specified)

2 of 3

Chassis ID
NR 620132

Path
431/Specifications//Transmission, Mechanical

Model
VHD

Identity
165222014

Publish date
7/28/2022

ID/Operation

Transmission, Mechanical

Transmission specifications

Transmission specifications

General

Tech data	
Product type	Automated mechanical transmission, with crawler gears
Product model	Transmission (I-Shift with crawler gears) generation F
Product variants	AT2612F / ATO2612F ASO-C/ASO-ULC ARSO-MSR
Product variant description	A specific example for ATO2612F variant
	• A – Automated
	• T - Transmission
	• O - Overdrive
	• 26 – Maximum torque (2600 Nm)
	• 12 - Number of forward gears
	• F – Transmission Generation
Number of gears	12+1 (ASO-C) forward 12+2 (ASO-ULC) forward 4+2 (ARSO-MSR) reverse
Dry weight	Transmission without crawler gear 321 kg (707.7 lb)
	Transmission with crawler gear 371 kg (817.9 lb)

	mounts oil pump; numbered for reassembly; sleeve guides for screws; thrust washers at No. 4 main bearing journal; pinned thrust caps.
Exhaust manifold	Three-piece connected by two welded bellows, six ports.
Pistons	One-piece steel; three rings groove
Piston rings — Compression	Two: one trapezoidal cross section, one rectangular cross section
Piston rings — Oil	One: garter spring type; scraping
Oil filters	Two 40-micron full flow, one 5-micron bypass; Filter capacity, two full flows: <ul style="list-style-type: none">• 4.0 – 4.5 L (4.2 – 4.8 quarts)
Oil pan	27 L plastic, 31 L steel; 22 spring tension screws; US2017: 6 L filter change Sump capacity: <ul style="list-style-type: none">• 36 L (38 quarts) 13 L engine with two oil filters (without bypass filter) 31 L composite, 31 L steel and 32 L aluminium; US2017 and US2021: oil filter volume 4 L Total volume: <ul style="list-style-type: none">• composite 35 L (37 quarts)• steel 35 L (37 quarts)• aluminium 36 L (38 quarts)
Thermostat	Sleeve type: 82 °C (180 °F)
Thermostat housing	Integrated in cylinder head
Turbocharger	Emissions: USA07–USA21: Variable geometry type: Exhaust driven; fixed vanes; sliding ring nozzle; infinitely variable volume; oil and water cooled.
	EURO 3/4/5, USA17 Turbocompound: Fixed geometry turbo; exhaust driven; fixed vanes; oil and water-cooled USA21 Turbocompound: Fixed geometry turbo with waste gate and turbo speed sensor. Turbocompound seal is having buffer air only and no chassis air.
Valve lifters	Roller followers
Valve seat inserts	Pressed in head; replaceable
Viscous torsional vibration dampener	Internal fluid-filled ring; crank damper; cam damper removed for F2; EURO 3/4/5 - cam damper
Coolant pump	Centrifugal rotor impeller; belt driven; optional 2 speed

1 of 1

Driver seat

Driver's seat is a Volvo design with High Back air ride with dual lumbar and multiple settings with a vinyl cover (exceeds spec)

1 of 2

Air brakes / Air Dryer

Air Dryer is not a AD-9 Bendix it is equipped with a Wabco SS-HP 1200 plus all the same specs as a AD-9 but less service intervals.

2 of 2

CATALOG ▾

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Outline Drawing (005)
(https://www.wabco-customercentre.com/catalog/docs/4324711000_005_dascheck_d7_page-1--notset.tif.pdf)

Print (/catalog/CCProductDetailPrintPage?Page_sku=4324711000&cclcl=en_US)

System Saver - Air Dryer 1200 plus

Part Number:
4324711000



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Gross Unit Price

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(<https://www.wabco-customercentre.com/catalog/ccpageKey=ALF&cartID=&cclcl>)

Device



Size (in' x in' x in')



Weight (lb)
20



UPC
193133437949

- > Technical Specifications
- > Documents
- > Service & Repair
- > Alternative
- > Accessories and Complements

Technical Specifications ▲

Brand
WABCO Original

Part type
Premium original quality

Product category
Device

Calculated Volume (dm³)
4116000

Cartridge type
Desiccant Cartridge

Comments
Turbo-cut-off valve installed

Cut-out pressure
125.46 to 135.61 psi

Replaces

Export Cross Reference

FREIGHTLINER
TDAS4324711000

FREIGHTLINER
TDAS4324711000X

KENWORTH
S432-471-100-0

KENWORTH
432471100R

MACK
8285-S4324711000

MACK
6300-4324711000

MACK

10/4

Steering Gear Box

Steering gear box is a TRW severe duty gear box with assist cylinder and with the set back front axle of the Volvo VHD (very heavy duty) is not required to have two gear boxes to maintain steering performance that is required by the industry standards.

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PARTS CATALOGUE

UNITED STATES

SEARCH BY VEHICLE TYPE

THP / PCF Series

THP / PCF Power Steering Gears.

TRW's tradition of state-of-the-art advancement numerous enhancements for performance and comfort are expertly engineered into the design of THP / PCF Power Steering Gears, including a positive center feel (PCF) option. And RCH assist gears are also available for extra power in heavy duty applications.

Industry-Leading Power from Compact Design

The THP / PCF Power Steering Gears from TRW offer durable performance from a compact design. With an industry-leading power-to-size ratio, THP / PCF gears are better equipped to maneuver in tight corners and reduce driver fatigue.

Better Turns and Reduced Friction

The faster steering ratio of THP / PCF Power Steering Gears from TRW improves lock-to-lock turns. Meanwhile, lower internal-gear friction allows steering to return to the center more quickly without additional exertion from your driver.

A Precise, Positive Center Feel

Available with a positive center feel (PCF) option, THP / PCF Power Steering Gears ensure steady, precise handling while driving straight down the open highway — allowing for longer, more comfortable hauls.

Performance Specifications

	THP45	THP60	PCF60
Front Axle Weight	9,000 lbs 4,000 kg	14,300 lbs 6,500 kg	14,300 lbs 6,500 kg
Pressure Rating	2,683 psi 185 bar	2,683 psi 185 bar	2,683 psi 185 bar
Output Torque at Rated Pressure 90% Efficiency	30,420 in / lbs 3,437 N-m	43,110 in / lbs 4,930 N-m	43,110 in / lbs 4,930 N-m
Gear Travel	100°	100°	100°
Gear Ratio(s)	17.5:1	18.2:1	18.2:1
Output Shaft Diameter	1.75 in 44.5 mm	2.00 in 50.8 mm	2.00 in 50.8 mm
Output Shaft Serrations	1.75 in x 46 Straight	1.937 in x 52 Straight	1.937 in x 52 Straight
Input Shaft Serrations	.812 in x 36 Straight	.812 in x 36 Straight	.812 in x 36 Straight
Maximum Operating Temperature	250° F 121° C	250° F 121° C	250° F 121° C
Minimum Pump Flow 1.5 hwt/sec	2.4 gpm 9.0 lpm	2.9 gpm 11.0 lpm	2.9 gpm 11.0 lpm

4 of 4

Make	Model	Model Year	TRW Part No.	TRW New Part No.			
MAZDA	CX	1990	TRW 1000	TRW 1000	TRW 1000	TRW 1000	TRW 1000
			TRW 1000	TRW 1000	TRW 1000	TRW 1000	
			TRW 1000	TRW 1000	TRW 1000	TRW 1000	
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			TRW 1000	TRW 1000	TRW 1000	TRW 1000	
MITSUBISHI	L2000	1990	TRW 1000	TRW 1000	TRW 1000	TRW 1000	TRW 1000
			TRW 1000	TRW 1000	TRW 1000	TRW 1000	
			TRW 1000	TRW 1000	TRW 1000	TRW 1000	
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			NISSAN	2000	1990	TRW 1000	TRW 1000
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SUBARU	Impreza	1990				TRW 1000	TRW 1000
			TRW 1000	TRW 1000	TRW 1000	TRW 1000	
			TRW 1000	TRW 1000	TRW 1000	TRW 1000	
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			TRW 1000	TRW 1000	TRW 1000	TRW 1000	

THE GENUINE TRW 5-STEP REMANUFACTURING PROCESS

- EXTERNAL INSPECTION** - Parts are thoroughly inspected and cleaned to remove any contaminants.
- COMPLETE DISASSEMBLY** - Parts are completely disassembled and inspected to ensure they meet TRW's strict standards.
- PART WASHING AND INSPECTION** - Parts are washed and inspected to ensure they are free of any contaminants.
- ASSEMBLY** - All finished components are reassembled to original TRW specifications.
- TESTING AND FINISHING** - Each part is tested to ensure it meets TRW's strict standards and is finished to original TRW specifications.

Visit www.trw.com for more information.

MOORE PARTS ON REVERSE SIDE

TRADE PARTS: 2A9500116
 DATE CODE: 20087501027
 SERIAL #

SUWANNEE COUNTY

Planning & Zoning

Executive Summary SP-23-10-01

Objective: Special Permit application # SP 23-10-01 to construct a 199 feet monopole communication tower and associated equipment has been submitted to the County

Considerations: The application and supporting documentation support the placement of a 199 feet telecommunication tower on the described property. Reliable service is needed in the area. There are no existing towers to co-locate on, thus the need for the new tower. The included plans also show the location of the Electrical Generator to provided power during power outages.

Recommendation: Approval of the request and adoption of the resolution

Respectfully submitted,



Ron Meeks,

Development Services Director

APPLICATION FOR ZONING SPECIAL PERMIT LINE ITEM #1

LEGAL DESCRIPTION OF PROPERTY

LEG 14.41 ACRES FOR POB COMM AT THE NW COR OF THE S1/2 OF NW1/4 OF NW1/4 RUN E 718.14 FT RUN S 01 DEG 31'26 E 195.02 FT RUN E 42 FT RUN S 210 FT RUN E 210 FT RUN N 210 FT RUN S 21 DEG 59'15 E 95.67 FT RUN S 0 DEG 23'00 W 363 .19 FT RUN W TO THE SW COR OF NW1/4 OF NW1/4 RUN N APPROX 660 FT TO POB & COMM AT THE SE COR OF NW1/4 OF NW1/4 RUN N 210 FT TO POB RUN W 210 FT RUN N 34 FT RUN N 27 DEG 10'40 E 158.62 FT RUN N 88 DEG 41'01 E 171.05 FT S 172.14 FT TO POB ORB 69 P 491 ORB 122 P 786 ORB 341 P 468 - 469 WD YR 89 ORB 343 P 450 WD & A PARCEL OF LAND DESC IN ORB 1135 P 7 WD YR 05 LESS A PARCEL OF LAND DESC IN ORB 1135 P 6

HEREBY CERTIFY THAT ALL OF THE ABOVE STATEMENTS AND ALL INFORMATION PROVIDED IN ANY PAPERS OR PLANS SUBMITTED HERewith ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Harold Timmons

ON BEHALF OF THE PROPERTY OWNER AS AUTHORIZED AGENT

AUGUST 16, 2023

Signature of Title Holder(s)

Date

FOR OFFICE USE ONLY

Zoning District: _____ Land Use Plan Map Category: _____

Date Filed: _____ Special Permit Request No. _____

Fee amount: \$650 _____

Date hearing held: _____

Action by Board: _____

(Granted, Denied, etc.)

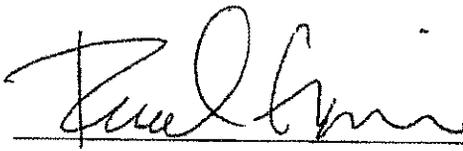
Additional Comments: _____

Planning & Zoning Director
Suwannee County, Florida

Date

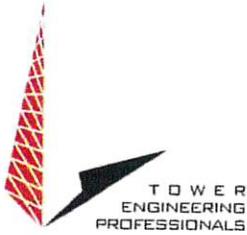
**AUTHORIZATION FOR AGENT TO REPRESENT
IN ZONING/LAND USE MATTERS**

I (We), The Towers, LLC, do hereby authorize
TOWER ENGINEERING PROFESSIONALS (TEP OPCO LLC) and their assigned
agent(s) to act as our agent in any and all zoning/land use requests and to represent us
at all zoning/land use hearings pertaining to a Zoning Special Permit regarding the
review and approval of a **COMMUNICATION TOWER** as required under the Suwannee
County, Florida process and procedures for a Zoning Special Permit.

Date: 3/3/23 By: 
Print Name: Raul Garcia
Title: Sr. Project Mgr

2. Findings. Before any special permit shall be granted, the Board of County Commissioner shall make a specific finding that it is empowered under these land development regulations to grant the special permit described in the application, and that the granting of the special permit would promote the public health, safety, morals, order, comfort, convenience, appearance, prosperity, or the general welfare. Before any special permit shall be granted, the Board of County Commissioners shall further make a determination that the specific rules governing the individual special permits, if any, have been met by the applicant and that, further, satisfactory provision and arrangement has been made concerning the following matters, where applicable:
 - a. Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.
 - b. Offstreet parking and loading areas, where required, with particular attention to the items in (a) above economic, noise, glare, or odor effects of the special permit on adjoining properties generally in the district.
 - c. Refuse and service areas, with particular reference to the items in (a) and (b) above.
 - d. Utilities, with reference to locations, availability, and compatibility.
 - e. Screening and buffering with reference to type, dimensions, and character.
 - f. Signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effects, and compatibility and harmony with properties in the district.
 - g. Required yards and other open space.
 - h. Considerations relating to general compatibility with adjacent properties and other property in the district including but not limited to:
 - (1) Conformity with the County's Comprehensive Plan and the effects upon the County's Comprehensive Plan;
 - (2) The existing land use pattern;
 - (3) The impact of the proposed use upon the load on public facilities such as schools, utilities, and streets;
 - (4) Changed or changing conditions which find the proposed use to be advantageous to the community and the neighborhood;
 - (5) The impact of the proposed use upon living conditions in the neighborhood;

- (6) The impact of the proposed use upon traffic congestion or other
 - (7) The impact of the proposed use upon drainage;
 - (8) The impact of the proposed use upon light and air to adjacent areas;
 - (9) The impact of the proposed use upon property values in the adjacent area;
 - (10) The impact of the proposed use upon the improvement or redevelopment of adjacent property in accordance with existing regulations; and
 - (11) The impact of the proposed use with regard to the scale of needs of the neighborhood or the County.
3. Limitations on subsequent written petition for a special permit. No written petition by an owner of real property for a special permit for a particular parcel of property, or part thereof, shall be filed with the Land Development Regulation Administrator until the expiration of twelve (12) calendar months from the date of denial of a written application for a special permit for such property, or part thereof, unless the Board of County Commissioners specifically waives said waiting period based upon a consideration of the following factors.
- a. The new written application constitutes a proposed special permit different from the one (1) proposed in the denied written application.
 - b. Failure to waive said twelve (12) month waiting period constitutes a hardship to the applicant resulting from mistake, inadvertence, or newly discovered matters of consideration.



CHARLOTTE OFFICE
10700 SIKES PLACE, SUITE 360
CHARLOTTE, NC 28277
980.202.5596
WWW.TEPGROUP.NET

August 16, 2023

Suwannee County, Florida
Planning and Zoning Department
Attn: Mr. Ronald Meeks
224 Pine Ave., S.W.
Live Oak, FL 32064

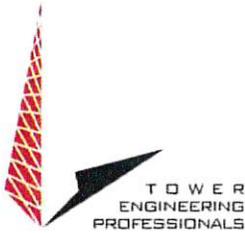
Transmittal Letter

To Whom It May Concern:

Enclosed are the documents required for the submittal of an application for a 199-foot-tall monopole communication tower and related ground equipment on property currently under the ownership of Glenda J. Sanford. The property is physically located in the northeast quadrant of the intersection of US Hwy 27 and County Road 137 on parcel #22-06S-15E-01385-000000 in Suwannee County, Florida. Included in this submittal are the documents required for a Zoning Special Permit. Attached are the following documents:

- Application for Special Zoning Permit
- Owner Agent Authorization Form
- Applicant Agent Authorization Form
- Property Deed
- Aerial Map
- Legal Description
- Statement – No Viable Structures
- Shared Use Letter
- Appraisers Card
- FAA Information
- Redacted Copy of Land Lease
- Tower Structural Information (Tower Procurement Package)
- Radio Frequency Study
- Photographic Simulations
- Site Plan/Construction Drawings

The applicant for this tower is The Towers, LLC. The Towers, LLC (Affiliated with Vertical Bridge) is developing this tower for the initial user, Verizon Wireless. Verizon Wireless is a major telecommunication company serving telecommunication needs nationwide. Verizon Wireless currently provides service in the County and has determined that providing improved service to the community is a priority. The Towers, LLC and Verizon Wireless both understand that



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constructing towers that can be collocated upon by the optimum number of providers is important to local communities. Should this tower be approved, The Towers, LLC will allow both public and private entities the opportunity to locate their communications equipment on this structure.

The proposed monopole designed tower, will be designed to withstand wind speeds and forces as required by State and local building regulations as well as those standards defined by the American National Standards Association (ANSA) specifications. Regardless, Verizon Wireless carries extensive liability insurance and agrees as part of our leases to assume responsibility for damages or injuries resulting from our operations. As a part of all Verizon Wireless owned towers, FCC licensed users of the structure will file for certifications required by the Federal Communications Commission (FCC) that attest to the fact that the proposed communication facility complies with all current FCC regulations for non-ionizing electromagnetic radiation (NIER).

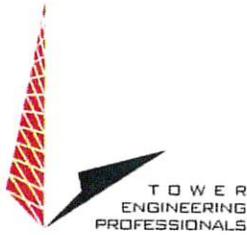
All of The Towers, LLC and Verizon Wireless constructed towers are designed by the manufacturer to be protected from strikes by lightning. Two important factors combine to protect our facility from lightning. First, the tower will be grounded using rods and cables that will be buried within the fenced compound. Second, the tower itself will provide a "cone of protection," a 45-degree circular arc from the top of the tower to the ground, which will protect all structures within that area from lightning strikes. Should the tower receive a lightning strike, the electrical surge would be directed into the ground and dissipated immediately.

Like all electrical devices, cellular telephone antennas produce electromagnetic fields (EMF's). EMF's are invisible lines of force that surround all electrical current. These fields are routinely found throughout nature and are even produced by chemical interactions within the human body. We are constantly being exposed to a variety of such fields from natural and manmade sources. Telecommunications facilities are designed to function using very low powered transmission facilities. Our radio frequency (RF) contribution to the environment is insignificant compared to the higher-powered AM and FM radio and television stations. It is very important to note that the transmission power levels of wireless communication antennas are typically in the 10 to 100 watts range, while a television tower emits up to 5 million watts and a commercial radio station tower operates at up to 100,000 watts of power. Many local government police and fire department communication facilities produce up to 500 watts of power.

The effect of wireless (cellular/digital/pcs) radio frequencies on AM and FM signals, and TV transmissions is considered negligible by the industry's regulatory agencies. There are too many frequencies separating the various wireless service providers to cause any adverse effects.

The Telecommunications Act of 1996 recognizes the importance of ensuring the integrity of wireless communication networks that provide nationwide communication services. Nevertheless, our client understands the concerns regarding health and safety and recognizes their responsibility to address those concerns. Consequently, this antenna facility site will comply with FCC regulations governing the safety of RF emissions.

The nature and number of benefits associated with wireless communications are great and



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growing daily, as more and more citizens become users. There are over 16 million cellular phone users in the United States today. The vast majority of the people responding to industry surveys cite increased safety and security as their primary reason for having a cellular telephone. Such surveys have shown that many people use their phone to report car trouble, medical emergencies, crimes in progress or the presence of drunken drivers on our public roads. It has been reported that 550,000 calls a month were made nationally to the 911 emergency systems from cellular phones. As people expand their non-working activities into the later evening hours, cellular phones will play an important role in providing personal safety and security.

The availability and use of cellular telephones are a major personal convenience, and significantly enhances one's quality of life. As the national and worldwide antenna systems are installed and the user base increases exponentially, unit costs associated with their use will decrease. This will result in even greater numbers of user and higher monthly usage, improving the quality of life for many people. It is reported by service providers that call volume from cellular telephones has grown to equal and at times exceeds those of landline phones across the country between the hours of 4:00 p.m. and 5:00 p.m., Monday through Friday.

During recent hurricanes and other natural disasters, cellular communications have been found to be the only means of communication generally available for extended periods of time. As a result, many cities and counties have defined the cellular telephone industry as an "essential use" in their Zoning Codes. Cellular communication provides an extremely important community service to emergency groups, such as police, fire, ambulance, and hospitals. The quick response by a cellular user to an accident or other mishap has saved lives. Increased competition in the cellular industry will result in better service, lower costs to the public and the continued growth in the number of cellular telephone users across the nation.

Should you need any additional information or clarification regarding this request, please feel free to contact me on 336-210-9684.

Sincerely,

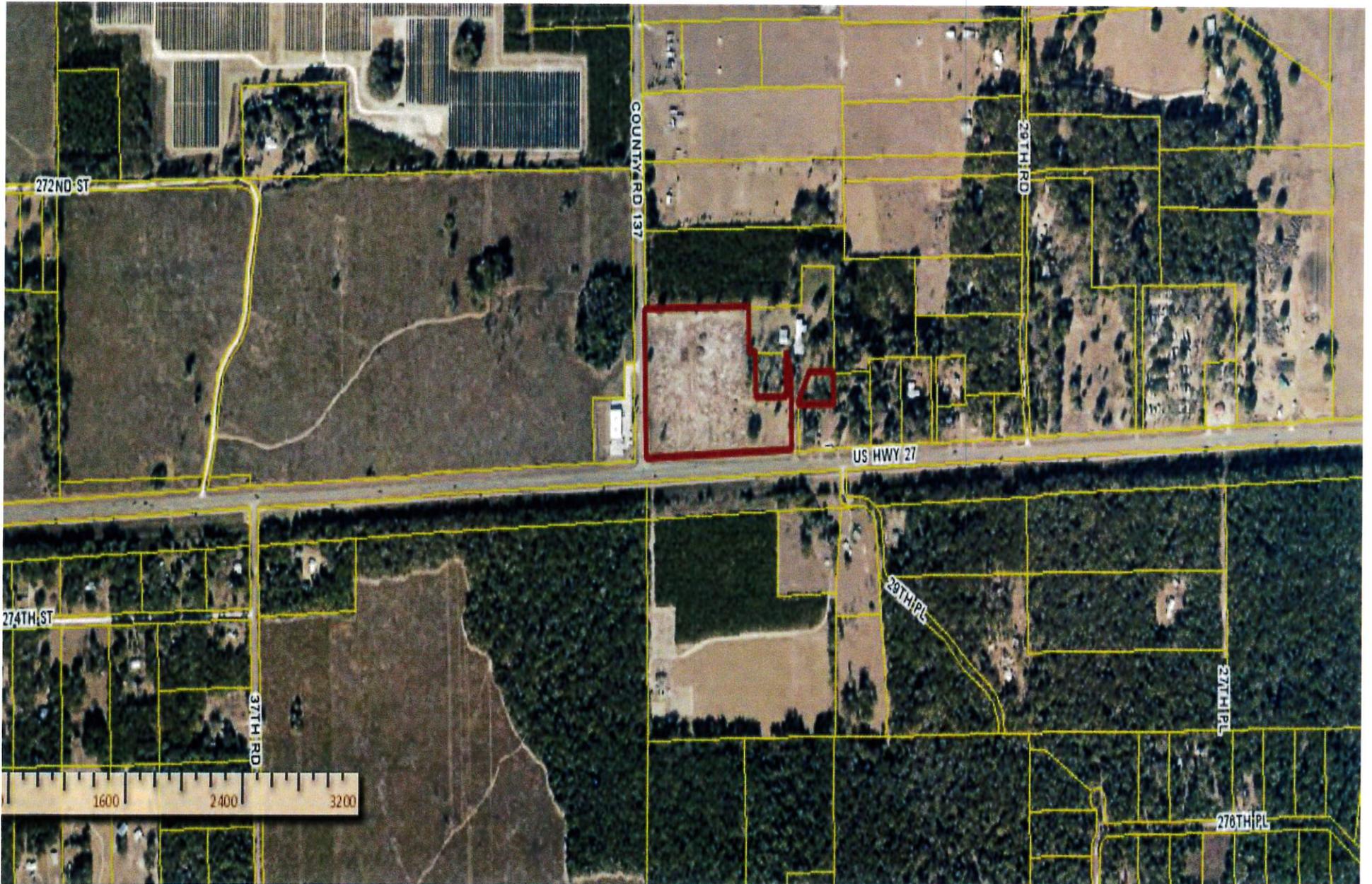
Harold Timmons

Harold K. Timmons
Site Acquisition Specialist
Tower Engineering Professionals
hktimmons@tepgroup.net

Please note that I have no authority to bind our client and the result of our negotiations are subject to approval by our client's management. This transmittal, however, is not a representation that I will present this, or any other proposal which results from our negotiations, to our client's management for final approval.

The terms and conditions set forth herein are not an offer and neither party is legally bound until a final document, which is subject to review by our client's counsel and management, has been executed by and delivered to all parties.

APPLICATION ITEM – AERIAL MAP OF PROPERTY



LEASE AREA AND ACCESS EASEMENT DESCRIPTION

LEGAL DESCRIPTION OF 100' X 100' LEASE AREA

ALL THAT CERTAIN LEASE AREA, SITUATED, LYING AND BEING IN SECTION 22, TOWNSHIP 6 SOUTH, RANGE 15 EAST, SUWANNEE COUNTY, FLORIDA, BEING A PORTION OF THE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 1478 AT PAGE 438 OF THE SUWANNEE COUNTY RECORDER AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN EXISTING RAILROAD SPIKE BEING THE NORTHWEST CORNER OF SAID SECTION 22, TOWNSHIP 6 SOUTH, RANGE 15 EAST, HAVING FLORIDA STATE PLANE COORDINATES OF NORTHING = 351,938.45', AND EASTING = 2,503,593.34'; THENCE, FROM THE POINT OF COMMENCEMENT, SOUTH 15°17'08" EAST A DISTANCE OF 839.13 FEET TO A POINT ON THE NORTHWEST CORNER OF THE HEREIN DESCRIBED 100' X 100' LEASE AREA, SAID POINT BEING THE TRUE POINT OF BEGINNING, HAVING FLORIDA STATE PLANE COORDINATES OF NORTHING = 351,129.00', AND EASTING = 2,503,814.56'; THENCE, FROM THE POINT OF BEGINNING, NORTH 88°40'26" EAST A DISTANCE OF 100.00 FEET TO A POINT; THENCE SOUTH 01°19'34" EAST A DISTANCE OF 100.00 FEET TO A POINT; THENCE SOUTH 88°40'26" WEST A DISTANCE OF 100.00 FEET TO A POINT; THENCE NORTH 01°19'34" WEST A DISTANCE OF 100.00 FEET TO THE POINT OF BEGINNING.

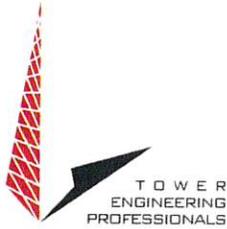
SAID LEASE AREA CONTAINING 10,000 SQUARE FEET OR 0.23 ACRES MORE OR LESS.

LEGAL DESCRIPTION OF 30' ACCESS & UTILITY EASEMENT

ALL THAT CERTAIN EASEMENT AREA, SITUATED, LYING AND BEING IN SECTION 22, TOWNSHIP 6 SOUTH, RANGE 15 EAST, SUWANNEE COUNTY, FLORIDA, BEING A PORTION OF THE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 1478 AT PAGE 438 OF THE SUWANNEE COUNTY RECORDER AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN EXISTING RAILROAD SPIKE BEING THE NORTHWEST CORNER OF SAID SECTION 22, TOWNSHIP 6 SOUTH, RANGE 15 EAST, HAVING FLORIDA STATE PLANE COORDINATES OF NORTHING = 351,938.45', AND EASTING = 2,503,593.34'; THENCE, FROM THE POINT OF COMMENCEMENT, SOUTH 05°50'32" EAST A DISTANCE OF 866.32 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF COUNTY ROAD 137, SAID POINT ALSO BEING THE NORTHWESTERLY CORNER OF THE PARCEL DESCRIBED IN SAID OFFICIAL RECORDS BOOK 1485 AT PAGE 391, SAID POINT BEING THE TRUE POINT OF BEGINNING HAVING FLORIDA STATE PLANE COORDINATES OF NORTHING = 351,275.59', AND EASTING = 2,503,661.16'; THENCE, FROM THE POINT OF BEGINNING AND LEAVING SAID RIGHT OF WAY, SOUTH 88°40'37" EAST A DISTANCE OF 214.98 FEET TO A POINT, THENCE SOUTH 01°19'37" EAST A DISTANCE OF 150.09 FEET TO A POINT, THENCE SOUTH 88°40'26" WEST A DISTANCE OF 30.02 FEET TO A POINT, THENCE NORTH 01°19'37" WEST A DISTANCE OF 120.09 FEET TO A POINT, THENCE SOUTH 88°40'37" WEST A DISTANCE OF 184.98 FEET TO A POINT ON SAID EASTERLY RIGHT OF WAY, THENCE AND WITH SAID EASTERLY RIGHT OF WAY NORTH 01°19'23" WEST A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING.

SAID EASEMENT AREA CONTAINING 10,054.56 SQUARE FEET OR 0.23 ACRES MORE OR LESS.



CHARLOTTE OFFICE
10700 SIKES PLACE, SUITE 360
CHARLOTTE, NC 28277
980.202.5553
WWW.TEPGROUP.NET

Re: The "Ichetucknee Springs" site in Suwannee County, FL

6/12/2023

To whom it may concern,

In our search for new tower site build opportunities, I also looked for tall structures and existing towers on which to collocate, rather than building a new tower site.

There were no tall structures inside, or near the search area. In addition, there are no existing telecommunication towers within a 1.0 mile search radius (Verizon's requested search radius) around our proposed location. The closest existing telecommunication tower is a T Mobile owned structure ~ 2 miles east of the proposed new tower location.

Conclusion: After searching the area for existing structures that would allow the carrier to achieve its coverage objectives, I have determined that there are no towers within a reasonable distance.

Nate Martin – Site Acquisition Specialist – Tower Engineering Professionals, Inc.

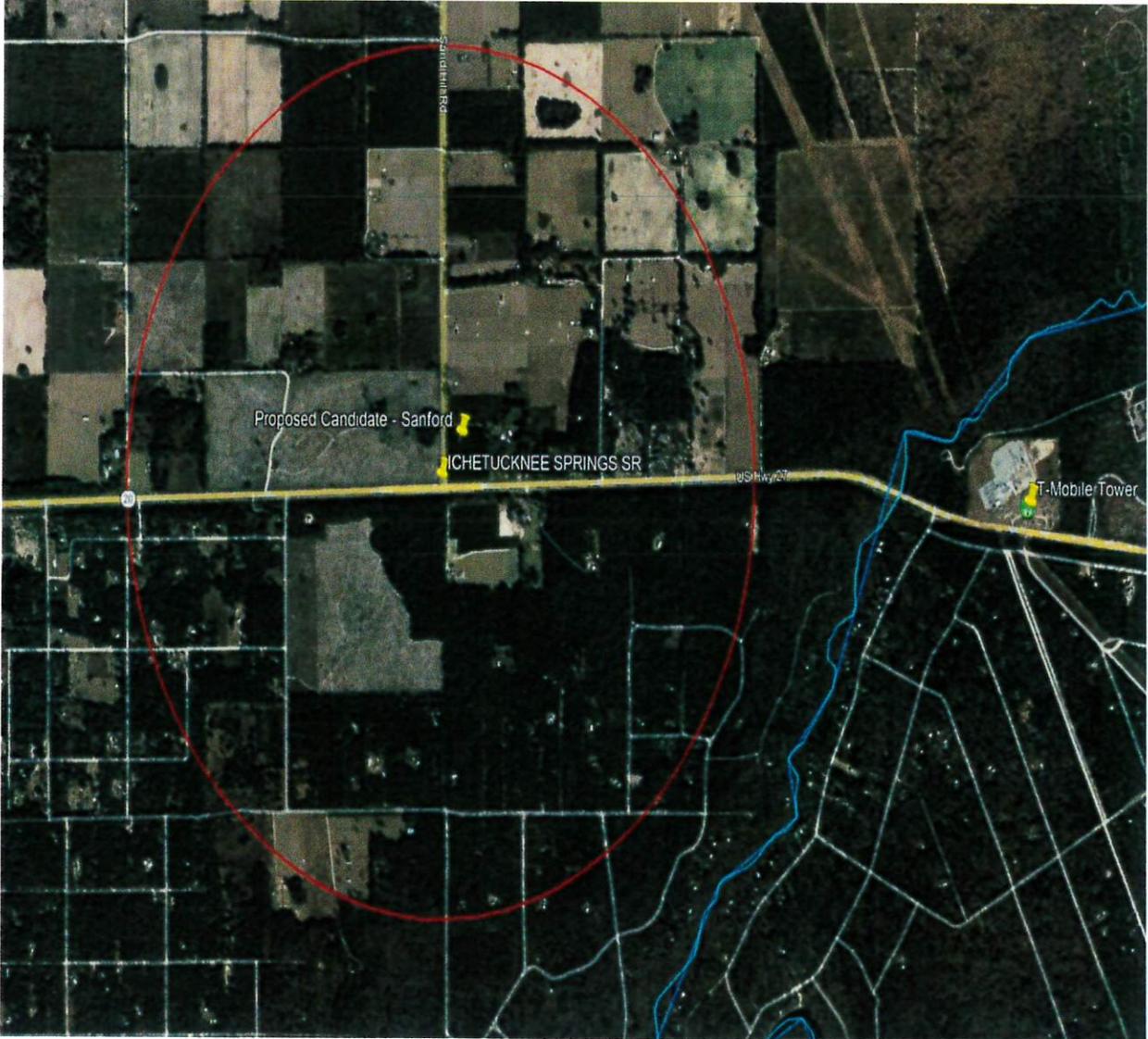
Supporting illustration:

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Nationwide Since 1997



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750 Park of Commerce Drive
Suite 200
Boca Raton, FL 33487
561-948-6367
VerticalBridge.com



August 3, 2023

Suwannee County Zoning Department
224 Pine Ave SW
Live Oak, FL 32064

**Re: The Towers, LLC Telecommunication Tower Application
(Parcel ID # 22-06S-15E-01380-001000)
Site Name and Number: Ichetucknee Springs / US-FL-5953**

To Whom it May Concern:

Vertical Bridge's communication facility will comply with all the RF admission standards of the FCC and shall be designed and constructed to minimize any potential interference with the public safety communications and the usual customary transmission or reception of radio and television service on adjoining properties.

The proposed tower is located within the Verizon Wireless search ring, and, in evaluating the area for Verizon Wireless, The Towers, LLC determined that there were no existing towers, viable government owned properties, or structures within Verizon Wireless's search area on which the Verizon Wireless antennae could be located and which could serve as an alternative to the proposed new tower.

Finally, The Towers, LLC commits to allowing the shared use of the tower for co-location of other antennae, where structurally, technically, physically, economically, and contractually feasible, with the cost of modifying the tower to be borne by the co-locating company. We are open to working with the government at allowing equipment placing at non-commercial levels on the tower.

We appreciate your time and attention to this matter.

Sincerely,

The Towers, LLC,

By: 
Name: Tim Tuck
Title: Vice President - Lease Administration
Date: 8/9/2023

One and a Half Mile Search Ring from Tower Center

No Towers, LLC or existing structures found within this search radius.



Existing The Towers, LLC towers in Suwannee County

Site No	Site Name	Site Type	Latitude	Longitude	Address	City	State	Postal Code	County	Structure Height
US-FL-5392	Fort Union	SST	30.40290278	-83.012811	12796 26th Place	Live Oak	FL	32060	Suwannee	258.6
US-FL-5513	Little River Ryan	Monopole	30.189022	-82.888747	6580 Bulb Farm Rd	Welborn	FL	32094	Suwannee	153
US-FL-5587	Rocky Sink	SST	30.286314	-83.115325	17726 County Rd 136	Live Oak	FL	32060	Suwannee	249

* Federal Airways & Airspace *
* Summary Report: New Construction *
* Antenna Structure *

Airspace User:

File: ICHETUCKNEE_SPRINGS

Location: Branford, FL

Latitude: 29°-57'-16.07" Longitude: 82°-48'-33.88"

SITE ELEVATION AMSL.....50.7 ft.

STRUCTURE HEIGHT.....199 ft.

OVERALL HEIGHT AMSL.....250 ft.

NOTICE CRITERIA

FAR 77.9(a): NNR (DNE 200 ft AGL)
FAR 77.9(b): NNR (DNE Notice Slope)
FAR 77.9(c): NNR (Not a Traverse Way)
FAR 77.9: NNR (No Expected TERPS® impact with 6J8)
FAR 77.9: NNR (No Expected TERPS® impact with LCQ)
FAR 77.9(d): NNR (Off Airport Construction)

NR = Notice Required

NNR = Notice Not Required

PNR = Possible Notice Required (depends upon actual IFR procedure)
For new construction review Air Navigation Facilities at bottom
of this report.

Notice to the FAA is not required at the analyzed location and height for
slope, height or Straight-In procedures. Please review the 'Air Navigation'
section for notice requirements for offset IFR procedures and EMI.

OBSTRUCTION STANDARDS

FAR 77.17(a)(1): DNE 499 ft AGL
FAR 77.17(a)(2): DNE - Airport Surface
FAR 77.19(a): DNE - Horizontal Surface
FAR 77.19(b): DNE - Conical Surface
FAR 77.19(c): DNE - Primary Surface
FAR 77.19(d): DNE - Approach Surface
FAR 77.19(e): DNE - Approach Transitional Surface
FAR 77.19(e): DNE - Abeam Transitional Surface

VFR TRAFFIC PATTERN AIRSPACE FOR: 6J8: OAK TREE LANDING

Type: A RD: 95564.48 RE: 93
FAR 77.17(a)(1): DNE
FAR 77.17(a)(2): DNE - Greater Than 5.99 NM.
VFR Horizontal Surface: DNE
VFR Conical Surface: DNE
VFR Primary Surface: DNE
VFR Approach Surface: DNE
VFR Transitional Surface: DNE

VFR TRAFFIC PATTERN AIRSPACE FOR: LCQ: LAKE CITY GATEWAY

Type: A RD: 108555.8 RE: 198.1
FAR 77.17(a)(1): DNE
FAR 77.17(a)(2): DNE - Greater Than 5.99 NM.
VFR Horizontal Surface: DNE
VFR Conical Surface: DNE
VFR Primary Surface: DNE
VFR Approach Surface: DNE
VFR Transitional Surface: DNE

TERPS DEPARTURE PROCEDURE (FAA Order 8260.3, Volume 4)

FAR 77.17(a)(3) Departure Surface Criteria (40:1)
DNE Departure Surface

MINIMUM OBSTACLE CLEARANCE ALTITUDE (MOCA)

FAR 77.17(a) (4) MOCA Altitude Enroute Criteria
 The Maximum Height Permitted is 1000 ft AMSL

PRIVATE LANDING FACILITIES

FACIL IDENT TYP NAME	BEARING To FACIL	RANGE IN NM	DELTA ARP FAA ELEVATION IFR
FD16 AIR FLYING C FARM No Impact to VFR Transitional Surface. Below surface height of 237 ft above ARP.	281.66	3.37	+174
FL02 AIR FOX FLD No Impact to VFR Transitional Surface. Below surface height of 293 ft above ARP.	171.77	3.93	+177
1FL3 AIR Z RANCH No Impact to VFR Transitional Surface. Below surface height of 400 ft above ARP.	16.64	5.00	+174
2FD0 AIR LAZYBOY No Impact to VFR Transitional Surface. Below surface height of 426 ft above ARP.	284.11	5.26	+204
FD31 AIR BRADLEY No Impact to VFR Transitional Surface. Below surface height of 486 ft above ARP.	105.67	5.86	+229

AIR NAVIGATION ELECTRONIC FACILITIES

FAC IDNT	TYPE	ST AT	FREQ	VECTOR	DIST (ft)	DELTA ELEVA	ST LOCATION	GRND ANGLE	APCH BEAR
CTY	RADAR ARSR	Y	1259.6	218.4	97723	+92	FL Cross City	.05	
No Impact. This structure does not require Notice based upon EMI. The studied location is within 20 NM of a Radar facility. The calculated Radar Line-Of-Sight (LOS) distance is: 35 NM. This location and height is within the Radar Line-Of-Sight.									
CTY	VORTAC	I	112.0	210.37	149926	+216	FL CROSS CITY	.08	
GNV	VORTAC	R	116.2	119.42	195043	+122	FL GATORS	.04	

CFR Title 47, §1.30000-§1.30004

AM STUDY NOT REQUIRED: Structure is not near a FCC licensed AM station.
 Movement Method Proof as specified in §73.151(c) is not required.
 Please review 'AM Station Report' for details.

No AM Stations were located within 3.0 km.

Airspace® Summary Version 23.5.679

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06-28-2023
 11:32:49

Certificate of AM Regulatory Compliance

Site Name ICHETUCKNEE_SPRINGS
Location N29-57-16.07 W82-48-33.88
Client Verizon Wireless
Certification Date 6/28/2023

According to the Federal Communications Commission (FCC) Rules and Regulations,

"§1 Subpart AA. Disturbance of AM broadcast station antenna patterns
Part §1.30000 Purpose.

This rule protects the operations of AM broadcast stations from nearby tower construction that may distort the AM antenna patterns. All parties holding or applying for Commission authorizations that propose to construct or make a significant modification to an antenna tower or support structure in the immediate vicinity of an AM antenna, or propose to install an antenna on an AM tower, are responsible for completing the analysis and notice process described in this subpart, and for taking any measures necessary to correct disturbances of the AM radiation pattern, if such disturbances occur as a result of the tower construction or modification or as a result of the installation of an antenna on an AM tower. In the event these processes are not completed before an antenna structure is constructed, any holder of or applicant for a Commission authorization is responsible for completing these processes before locating or proposing to locate an antenna on the structure, as described in this subpart. Part §1.30002 Tower construction or modification near AM stations.

(a) Construction near a nondirectional AM station. Proponents of construction or significant modification of a tower which is within one wavelength of a nondirectional AM station, and is taller than 60 electrical degrees at the AM frequency, must notify the AM station at least 30 days in advance of the commencement of construction. The proponent shall examine the potential impact of the construction or modification as described in paragraph (c). If the construction or modification would distort the radiation pattern by more than 2 dB, the proponent shall be responsible for the installation and maintenance of any detuning apparatus necessary to restore proper operation of the nondirectional antenna.

(b) Construction near a directional AM station. Proponents of construction or significant modification of a tower which is within the lesser of 10 wavelengths or 3 kilometers of a directional AM station, and is taller than 36 electrical degrees at the AM frequency, must notify the AM station at least 30 days in advance of the commencement of construction. The proponent shall examine the potential impact of the construction or modification as described in paragraph (c). If the construction or modification would result in radiation in excess of the AM station's licensed standard pattern or augmented standard pattern values, the proponent shall be responsible for the installation and maintenance of any detuning apparatus necessary to restore proper operation of the directional antenna."

This certificate verifies that the site at the above coordinates has been screened out to 3.2 km for directional antenna AM stations and 1.2 km distance for non-directional antenna AM stations and found to have no AM broadcast stations currently licensed to operate within those distances. Current FCC rules coordination distances are less as calculated in the above FCC rule §1.30002 adopted February 2014. Structure height is also considered in the current FCC rules. No further AM coordination actions are warranted at this time.



8618 Westwood Center Drive, Suite 315
Vienna, VA 22182
703-276-1100
www.sitesafe.com
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1-A Certification of Location and Elevation

Date of Survey: 01/19/2023

Rev 0: 03/01/2023

Prepared For: Verizon
 4700 Exchange Court, Suite 100
 Boca Raton, FL 33431

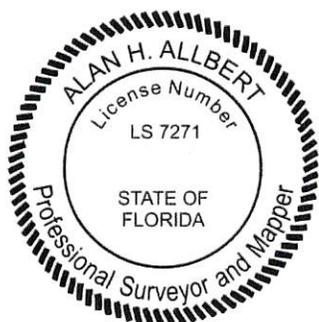
Site Name: Ichetucknee Springs
Site No.: 722759
TEP Job No.: 314699
Structure Type: Proposed Monopole Tower
Site Address: County Road 137 & US Highway 27, Branford, Florida 32008, Suwannee County

Elevations reference the North American Vertical Datum of 1988 (NAVD 88). The values are certified to be accurate to within 3 feet as determined through field observations utilizing Spectra Precision Focus F35 Robotic Total Stations and SP Series GNSS Receivers as shown below:

Elevation of Site Above Mean Sea Level: 50.7 Feet

Horizontal locations reference the North American Datum of 1983 [NAD 83(2011) EPOCH:2010] and Geoid 18. The values are certified to be accurate to within 20 feet as determined through field observations utilizing Spectra Precision SP Series GNSS Receivers as shown below:

Latitude: 29° – 57’ – 16.07” North (29.954464° North)
Longitude: 82° – 48’ – 33.88” West (82.809411° West)



DocuSigned by:

ALAN H. ALLBERT

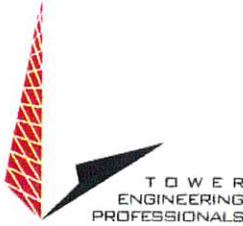
B572AD03BBBF4BC...

Alan H. Allbert, PSM (LS7271)
COA# LB8217
March 01, 2023

Land surveying services performed by one of the following entities as necessary to maintain professional licensing compliance within the jurisdiction of the services performed: Tower Engineering Professionals, Inc., TEP Engineering, PLLC, or TEP OPCO, LLC.

326 Tryon Road, Raleigh, NC 27603 O) 919.661.6351 F) 919.661.6350

www.tepgroup.net



Site Name: Ichetucknee Springs
Site Number: 5000906930
Site Address: County Rd 137 And US Hwy 27
 Branford, FL 32008
 (Suwannee County)
Latitude: N 29° 57' 16.07"±
Longitude: W 82° 48' 33.88"±
Structure Type: Proposed 195-ft Monopole

Contact Information: Do **NOT** contact the owner with questions regarding the content of this Document. All questions or concerns shall be directed via email to: Matthew G. Young, P.E. (myoung@tepgroup.net)

Design Capacity: The tower shall be designed so that, once installed will all loading, as shown in Table 2 – Design Antenna/Coax Loading, the tower superstructure and substructure shall **NOT exceed 100% of its capacity**. If, upon evaluation the design computes to be at a greater stress level than specified the bid will not be accepted. All bidders must provide design calculations verifying that this Design Capacity Requirement is met; see "Deliverables" for details.

Materials: Monopoles shall be tapered steel sections of polygonal or round cross-sections. No other materials or shapes shall be given consideration. However, straight sections with a flange connection are allowed to extend existing monopoles.

Design Fall Radius: No Fall Radius Required
 Fall Radius Required from Centerline of Tower: 195 -ft

Standard: As a minimum, all towers shall be designed to the requirements of ANSI/TIA-222-H, including released addendums.

Design Wind Speed: 120 mph (Ultimate 3-Second Gust Wind Speed) in accordance with the 2020 Florida Building Code, 7th Edition to be used with the ANSI/TIA-222-H Structural Standard for Antenna Supporting Structures, Antennas and Small Wind Turbine Support Structures.

Structure Class: Structure Class I – Low Hazard
 Structure Class II – Substantial Hazard
 Structure Class III – High Hazard (Essential Communications)

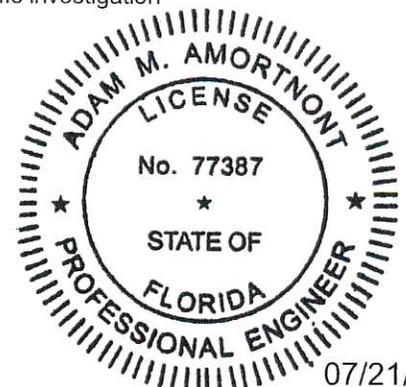
Topographic Cat.: Category I – No abrupt changes in general topography
 Category II – Structures located at or near the crest of an escarpment
 Category III – Structures located in the upper half of a hill
 Category IV – Structures located in the upper half of a ridge
 Category V – Wind speed up criteria based on a site-specific investigation

Respectfully submitted by:

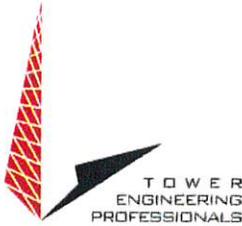
Adam M. Amortnont, P.E.

This item has been digitally signed and sealed by Adam M. Amortnont, P.E. on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



07/21/2023



- Exposure Category:** Exposure B – Urban and suburban areas
 Exposure C – Open terrain with scattered obstructions
 Exposure D – Flat, unobstructed shorelines
- Design Ice Loading:** Not required
 Ice loading per the TIA Standard (0.25-in with 30 mph 3 Second Gust Wind Speed)
- Seismic:** Not required (Site Specific $S_s = 0.078$)
 Seismic loads shall be evaluated in accordance with the Standard

- Tower Finish:** Galvanized
 Painted per FAA Advisory Circular AC 70/7460-1M
 Painted per Local Requirements
All structural steel products shall be hot-dip galvanized in accordance with ASTM A123 specifications. Tower manufacturer shall produce documentation verifying the appropriate galvanizing process what utilized. All steel hardware shall be galvanized in accordance with ASTM A153 or ASTM B695 specifications.

- Tower Lights:** Not required
 Provide obstruction lights per FAA Advisory Circular AC 70/7460-1M
 Tower lighting system with E1 (white strobes by day, and red lights at night). Beacons and Obstruction lights shall be all LED and Dual Red/White medium intensity and shall meet the requirements of FAA Advisory Circular AC 70/7460-1M. Ice shields shall be installed above sidelights to prevent damage to lenses from falling objects.

- Grounding:** This tower is to be supplied with a 4' long copper clad steel lightning rod.

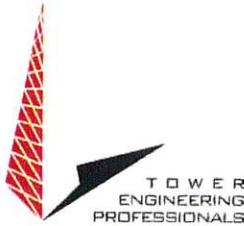
- Climbing Facilities:** Not required
 Provide Climbing Facilities with safety climb
All structures, excluding stealth, shall be equipped with at least one safety fall protection system incorporating a 3/8" diameter corrosion resistant cable meeting OSHA/ANSI specifications. The device shall be installed to span the full height of the structure.

- Ice Bridge:** Not required; carrier to provide
 Provide an option for Ice Bridge

- Transmission Ladder:** Not required; carrier to provide
 Provide an option for Transmission Ladder. Provide "per foot" pricing.

- Foundation:** Provide Reactions; A Geotechnical Report will be provided at a later date for the foundation design
 Design with Normal Soils per the TIA Standard
 Design with Geotechnical Report provided, see Appendix E. In accordance with ANSI/TIA-222-G, Annex A, Section A.9.0, the tower manufacturer shall ensure the proper development of anchor rods and anchorage materials. Please provide two foundation design options:
1) Deep Foundation – Caisson
2) Shallow Foundation – Pad and Pier

- Antenna Mounts:** Not required; Antenna Mounts provided by carrier
 Provide an option for mounts per Table 2 – Design Antenna/Coax Loading



Additional Design Requirements

Minimum Sizes:

Monopole is to have a top diameter of 21" or greater. For poles with 4 or more carrier levels, minimum top diameter is to be 30". Monopoles must have sufficient diameter to allow installation of all required feed lines inside the pole such that the pole interior cross-sectional area is at least 4 times the total area of feed lines.

Base Plate Design:

Monopole base plates must be designed with a thickness derived using industry accepted methods of analysis with due consideration to the problems associated with the generation of fatigue cracks in the heat affected zone of the shaft to base plate welded connection. In addition, the base plate design must be acceptable when analyzed by TEP.

Linear Appurtenances:

All feed lines shall be run on the inside of monopoles. Portholes shall be designed accordingly.

Discrete Appurtenances:

Effective Projected Area (EPA)_A for antennas shall be determined according to TIA-222-H, Section 2.6.11.2, Design Wind Force on Appurtenances. If antenna or mount areas are specified, the provided values shall be used in lieu of calculated values. If height, width, and depth dimensions are provided by the antenna manufacturer, the panel shall be treated as a flat rectangular panel. Force coefficients shall be determined based on antenna aspect ratios and multiplied by the projected areas to calculate front and side EPAs.

Wind tunnel test results shall NOT be used unless the results have been provided to TEP and proposed effective areas have been approved. Back calculating wind areas from published antenna manufacturer's wind loads is prohibited.

For all mounts see Table 1 – Minimum Antenna Mount EPA Requirements for projected areas for quotation purposes. Note that in general, mounts are not purchased with the tower. However, larger mount areas may be used if the RFQ states that mounts are to be purchased with the tower. Mounting pipe areas shall be considered for each antenna as per TIA-222-H requirement.

Bid Deliverables: [Once awarded, Final Deliverables shall bear the seal of a Florida Professional Engineer]

A PDF softcopy of all deliverables shall be sent to TEP for record purposes. All tower designs shall be complete with the following:

- General Notes
- Profile drawing (with tower reactions, design parameters, materials grades and referenced codes and standards shall be clearly shown)
- Foundation design drawings
- Supporting design calculations
- Bill of Materials

Note:

To facilitate the review process, connection information (such as edge distances, gage lines, etc.) for a rigorous structural analysis may be requested by TEP.

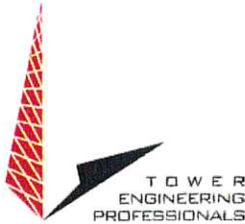


Table 1 - Minimum Antenna Mount EPA Requirements

Mount Description	(EPA) _A – ft ²					
	No Ice	1/4" Ice	1/2" Ice	3/4" Ice	1" Ice	1-1/4" Ice
Low Profile Platform	26	28.5	31	33.5	36	38.5
Low Profile Platform w/ Kickers	30	34	38	42	46	50
Full Platform w/ Handrails and Kickers	35	40	45	50	55	60
(3) Sector Frames	35	40	45	50	55	60
(3) 12-ft T-Arms	15	17.5	20	22.5	25	27.5
Sidearm Mount	10	11.5	13	14.5	16	17.5
Pipe Mount	4	4.5	5	5.5	6	6.5
Dish Mount	4	4.5	5	5.5	6	6.5

¹ – The areas shown include shielding factors (K_a)

² – Linear interpolation may be used for other ice thicknesses

³ – Mounting pipe and antenna areas are not included

Table 2 - Design Antenna/Coax Loading

Height (ft)	Mount	Entry Port	Exit Port	Description / Model	Coax	Coax Location
190.0	Full Platform w/ Handrails and Kickers	☒	☒	(6) Commscope NHHSS-65C-R2BT2 (3) Ericsson AIR6419 (3) Ericsson RRUS 4890 (3) Ericsson RRUS 4490 (2) Raycap RCMDC-6627-PF-48	(3) 1-1/4" Hybrid	Inside Pole



Appendix A

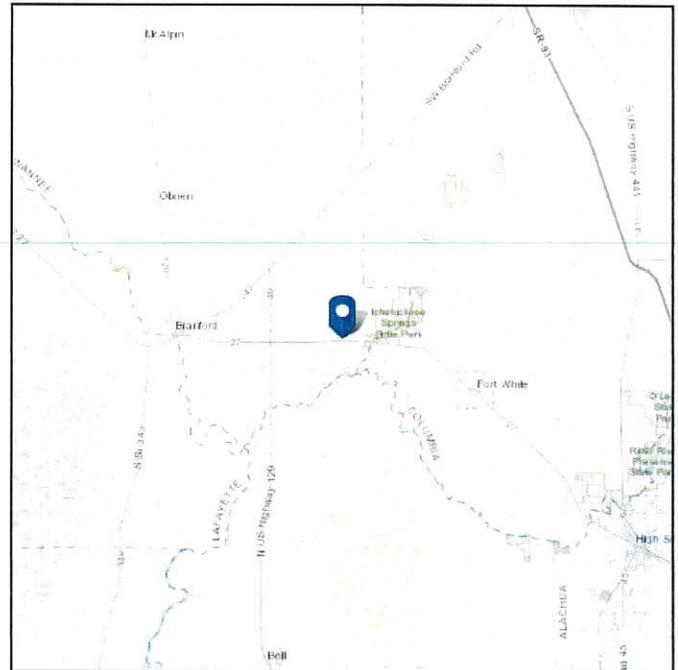
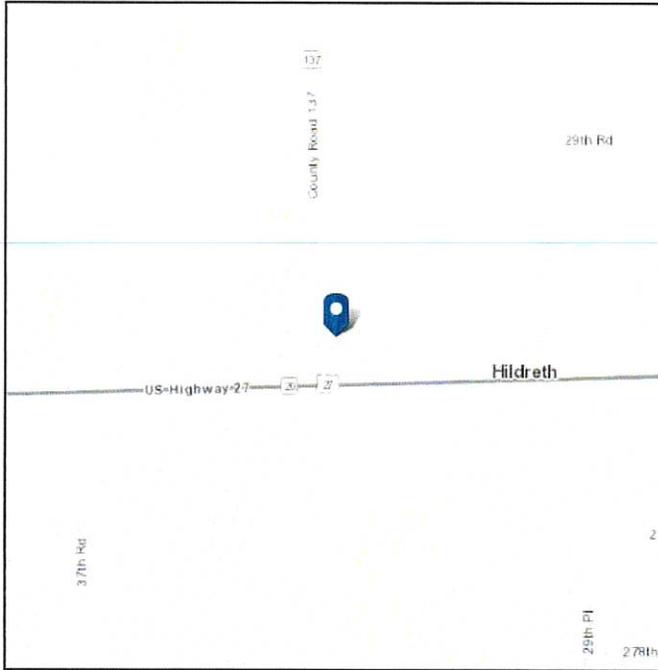
Verification of Wind Speed

ASCE 7 Hazards Report

Address:
No Address at This Location

Standard: ASCE/SEI 7-16
Risk Category: II
Soil Class: D - Default (see Section 11.4.3)

Latitude: 29.954464
Longitude: -82.809411
Elevation: 51.32725709522808 ft (NAVD 88)



Wind

Results:

Wind Speed	119 Vmph	*120 mph per jurisdictional requirements
10-year MRI	75 Vmph	
25-year MRI	84 Vmph	
50-year MRI	90 Vmph	
100-year MRI	98 Vmph	

Data Source: ASCE/SEI 7-16, Fig. 26.5-1B and Figs. CC.2-1–CC.2-4, and Section 26.5.2
Date Accessed: Mon Jul 17 2023

Value provided is 3-second gust wind speeds at 33 ft above ground for Exposure C Category, based on linear interpolation between contours. Wind speeds are interpolated in accordance with the 7-16 Standard. Wind speeds correspond to approximately a 7% probability of exceedance in 50 years (annual exceedance probability = 0.00143, MRI = 700 years).

Site is in a hurricane-prone region as defined in ASCE/SEI 7-16 Section 26.2. Glazed openings need not be protected against wind-borne debris.

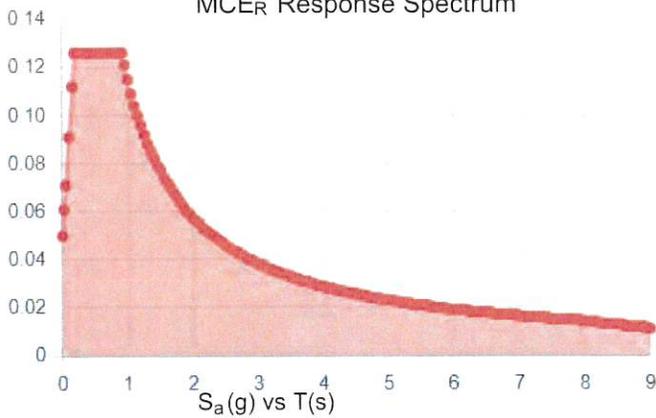
Site Soil Class:

Results:

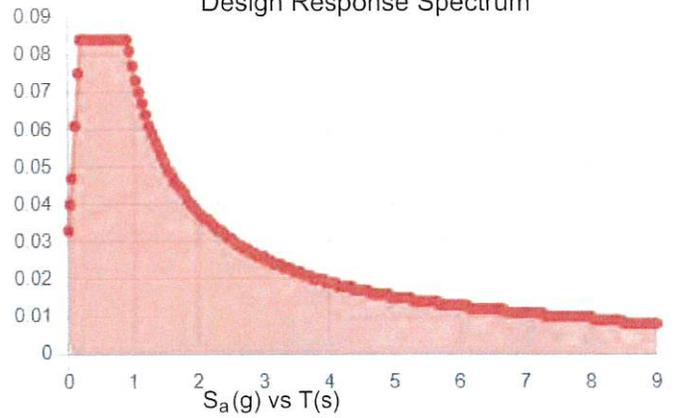
S_S :	0.078	S_{D1} :	0.077
S_1 :	0.048	T_L :	8
F_a :	1.6	PGA :	0.037
F_v :	2.4	PGA _M :	0.06
S_{MS} :	0.126	F_{PGA} :	1.6
S_{M1} :	0.115	I_e :	1
S_{DS} :	0.084	C_v :	0.7

Seismic Design Category: B

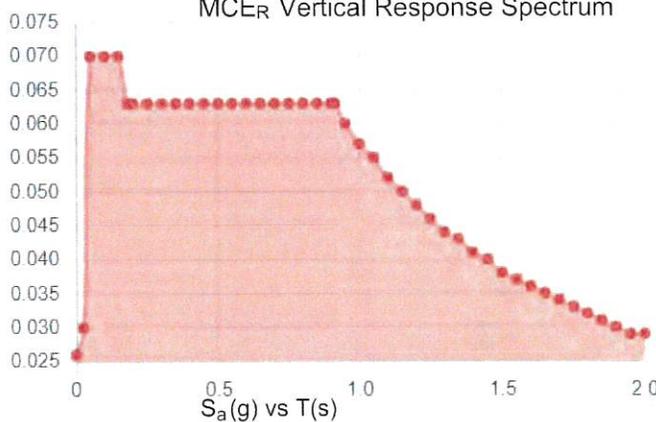
MCE_R Response Spectrum



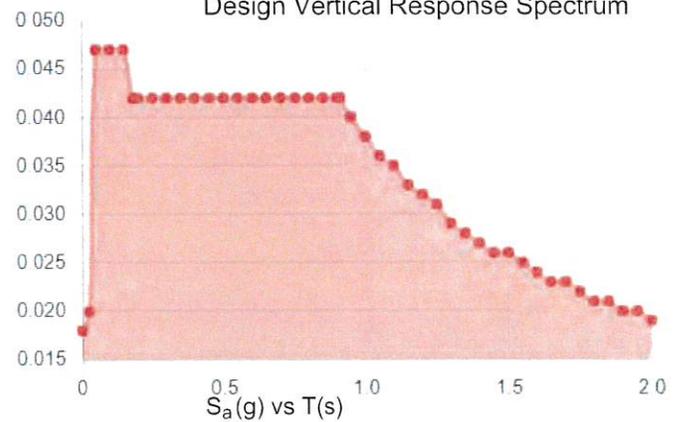
Design Response Spectrum



MCE_R Vertical Response Spectrum



Design Vertical Response Spectrum



Data Accessed: Mon Jul 17 2023

Date Source:

USGS Seismic Design Maps based on ASCE/SEI 7-16 and ASCE/SEI 7-16 Table 1.5-2. Additional data for site-specific ground motion procedures in accordance with ASCE/SEI 7-16 Ch. 21 are available from USGS.

Ice

Results:

Ice Thickness: 0.25 in.
Concurrent Temperature: 25 F
Gust Speed 30 mph

Data Source: Standard ASCE/SEI 7-16, Figs. 10-2 through 10-8

Date Accessed: Mon Jul 17 2023

Ice thicknesses on structures in exposed locations at elevations higher than the surrounding terrain and in valleys and gorges may exceed the mapped values.

Values provided are equivalent radial ice thicknesses due to freezing rain with concurrent 3-second gust speeds, for a 500-year mean recurrence interval, and temperatures concurrent with ice thicknesses due to freezing rain. Thicknesses for ice accretions caused by other sources shall be obtained from local meteorological studies. Ice thicknesses in exposed locations at elevations higher than the surrounding terrain and in valleys and gorges may exceed the mapped values.

The ASCE 7 Hazard Tool is provided for your convenience, for informational purposes only, and is provided "as is" and without warranties of any kind. The location data included herein has been obtained from information developed, produced, and maintained by third party providers; or has been extrapolated from maps incorporated in the ASCE 7 standard. While ASCE has made every effort to use data obtained from reliable sources or methodologies, ASCE does not make any representations or warranties as to the accuracy, completeness, reliability, currency, or quality of any data provided herein. Any third-party links provided by this Tool should not be construed as an endorsement, affiliation, relationship, or sponsorship of such third-party content by or from ASCE.

ASCE does not intend, nor should anyone interpret, the results provided by this Tool to replace the sound judgment of a competent professional, having knowledge and experience in the appropriate field(s) of practice, nor to substitute for the standard of care required of such professionals in interpreting and applying the contents of this Tool or the ASCE 7 standard.

In using this Tool, you expressly assume all risks associated with your use. Under no circumstances shall ASCE or its officers, directors, employees, members, affiliates, or agents be liable to you or any other person for any direct, indirect, special, incidental, or consequential damages arising from or related to your use of, or reliance on, the Tool or any information obtained therein. To the fullest extent permitted by law, you agree to release and hold harmless ASCE from any and all liability of any nature arising out of or resulting from any use of data provided by the ASCE 7 Hazard Tool.

Ichetucknee Spring

Suwanee, FL

Prepared by Verizon Wireless RF Engineering

Amit Raut

08/03/2023

verizon^v

Introduction:

There are two main drivers that prompt the need for a new cell site. One is coverage and the other is capacity.

Coverage is the need to expand wireless service into an area that either has no service or bad service. The request for service often comes from customers or emergency personnel. Expansion of service could mean improving the signal levels in a large apartment complex or new residential community. It could also mean providing new service along a newly built highway.

Capacity is the need for more wireless resources. Cell sites have a limited amount of resources to handle voice calls, data connections, and data volume. When these limits are reached, user experience quickly degrades. This could mean customers may no longer be able to make/receive calls nor be able to browse the internet. It could also mean that webpages will be very slow to download.

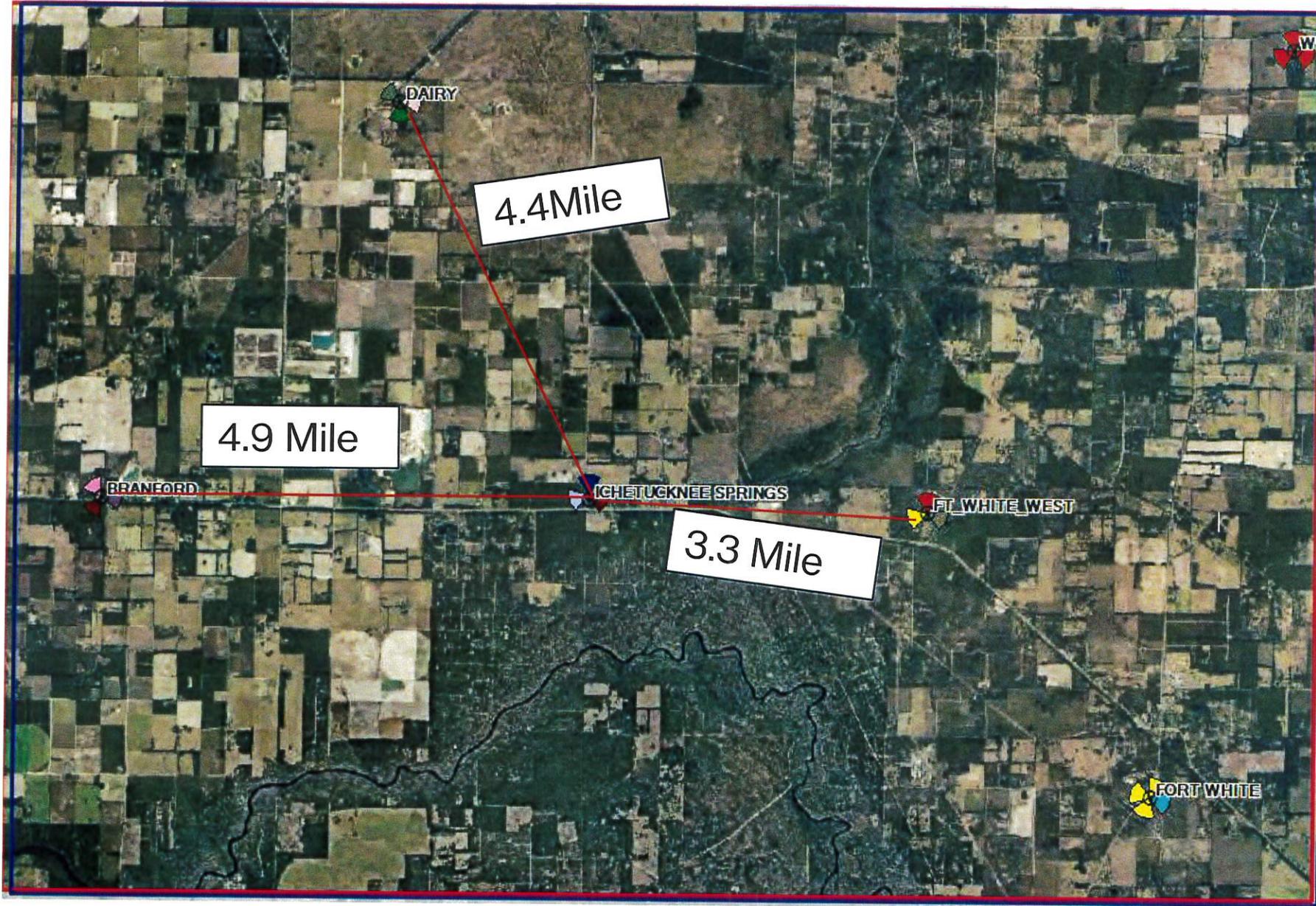
Need Case for: Ichetucknee Spring

Summary: The existing network along BRANFORD , FT_WHITE_WEST, DAIRY and local routes (SR 20) are under unreliable service area. This area will have an increased risk of data session drops in the foreseeable future. The proposed site will bring significant network improvements to this area along with the surrounding residential developments.

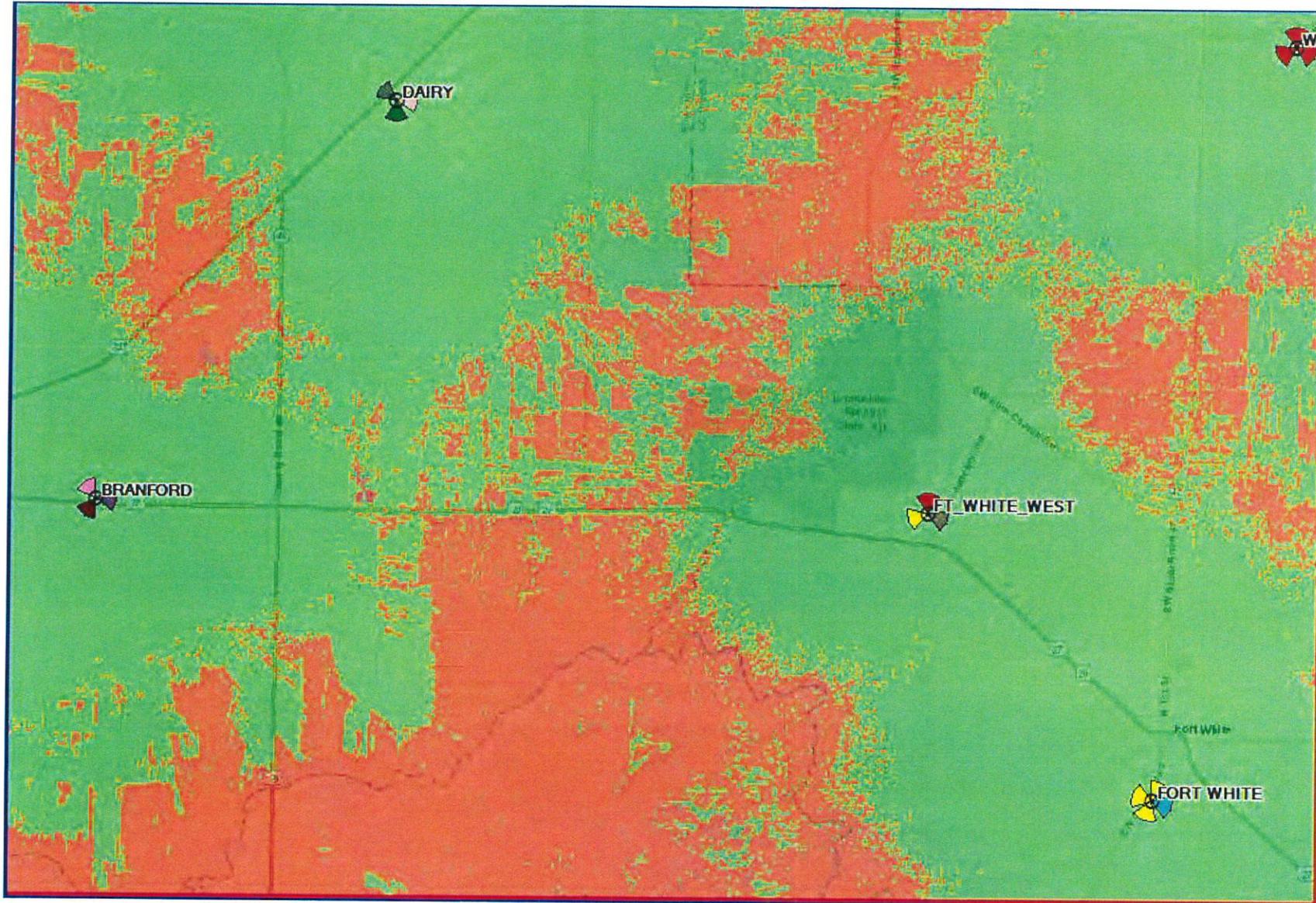
Detail below:

- Exact capacity data about sites is proprietary and cannot be disclosed due to competitive reasons.
- The existing neighbor cells to the BRANFORD , FT_WHITE_WEST, DAIRY are forecasted to reach capacity in the near future.
- The new cell site will also provide additional coverage and capacity resources to the residential developments in the areas along SR 20 and local routes. It will take users off of the neighboring sites which will alleviate the capacity constraints on them.
- This new site improve customer experience (faster webpage downloads, fewer drop calls, etc.) in the surrounding areas.
- Without the new site, neighbor sites will reach capacity limits which will negatively impact customer's ability to make/receive calls and use data services in this area.

Need Case for: **ALL ABOARD STORAGE** (Distance from On Air Sites)



Current Coverage

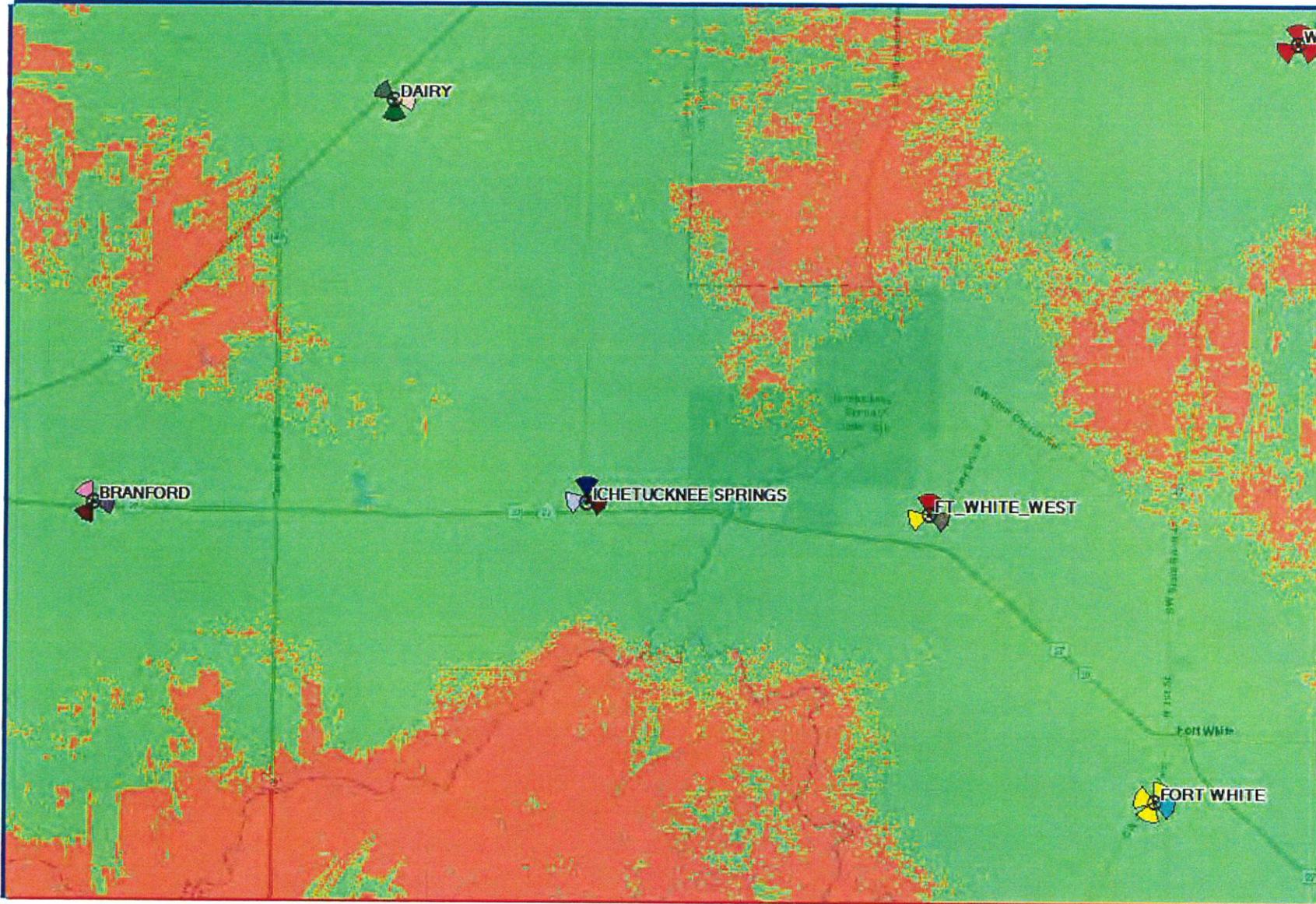


Coverage Thresholds

- Reliable Service
- Not-Reliable Service

verizon✓

Future Coverage with proposed site



Coverage Thresholds

- Reliable Service
- Not-Reliable Service



VERIZON SITE NAME: ICHETUCKNEE SPRINGS
PROJECT DESCRIPTION: PROPOSED TELECOMMUNICATIONS FACILITY
TOWER TYPE: 195'-0"± MONOPOLE
SITE ADDRESS: COUNTY ROAD 137 AND US HIGHWAY 27 BRANFORD, FL 32008 (SUWANNEE COUNTY)
JURISDICTION: SUWANNEE COUNTY
AREA OF CONSTRUCTION: 16,718± SQ. FT. (TOTAL DISTURBED AREA)
PRESENT OCCUPANCY TYPE: 5600 - TIMBERLAND 70-79
CURRENT ZONING: A-1
PARCEL #: 22-06S-15E-01385-000000

PROJECT INFORMATION

LATITUDE: N 29° 57' 16.07" *
LONGITUDE: W 82° 48' 33.88" *
GROUND ELEVATION: 50.7± (AMSL)(NAVD '88) *

*INFORMATION PROVIDED BY 1-A CERTIFICATION BY TOWER ENGINEERING PROFESSIONALS DATED 03/01/23.

SITE COORDINATES



VICINITY MAP



LOCATION MAP



4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

VZW SITE #: 5000906930 (PLSC 722759)
ICHTUCKNEE SPRINGS

COUNTY ROAD 137 AND US HIGHWAY 27
BRANFORD, FL 32008

LESSEE:
NAME: VERIZON WIRELESS
ADDRESS: 4700 EXCHANGE COURT, SUITE 100
CITY, STATE, ZIP: BOCA RATON, FL 33431
CONTACT: JUSTIN DANAHY
PHONE: (561) 995-5539

TOWER OWNER:
NAME: VERIZON WIRELESS
ADDRESS: 4700 EXCHANGE COURT, SUITE 100
CITY, STATE, ZIP: BOCA RATON, FL 33431
CONTACT: JUSTIN DANAHY
PHONE: (561) 995-5539

SURVEYOR:
NAME: TOWER ENGINEERING PROFESSIONALS
ADDRESS: 326 TRYON ROAD
CITY, STATE, ZIP: RALEIGH, NC 27603-3530
CONTACT: ALAN H. ALLBERT, PSM
PHONE: (919) 661-6351

CIVIL ENGINEER:
NAME: TOWER ENGINEERING PROFESSIONALS
ADDRESS: 326 TRYON ROAD
CITY, STATE, ZIP: RALEIGH, NC 27603-3530
CONTACT: JOSHUA H. GARDEN, P.E.
PHONE: (919) 661-6351

ELECTRICAL ENGINEER:
NAME: TOWER ENGINEERING PROFESSIONALS
ADDRESS: 326 TRYON ROAD
CITY, STATE, ZIP: RALEIGH, NC 27603-3530
CONTACT: JOSHUA H. GARDEN, P.E.
PHONE: (919) 661-6351

PROPERTY OWNER:
NAME: GLENDA J. SANFORD
ADDRESS: P.O. BOX 457
CITY, STATE, ZIP: BRANFORD, FL 32008
CONTACT: GLENDA J. SANFORD
PHONE: (386) 935-1830

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING:
 1. 2020 FLORIDA BUILDING CODE, 7TH EDITION
 2. LOCAL BUILDING CODE
 3. ANSRIA-222-H-2-2017
 4. 2017 NATIONAL ELECTRIC CODE
 5. CITY/COUNTY ORDINANCES

CODE COMPLIANCE

UTILITIES:
POWER COMPANY: SVEC
CONTACT: CUSTOMER SERVICE (386) 362-2226
PHONE: UNKNOWN
METER # NEAR SITE: UNKNOWN
TELEPHONE COMPANY: UNKNOWN
CONTACT: UNKNOWN
PHONE: UNKNOWN
METER # NEAR SITE: (386) 288-8980
PEDESTAL # NEAR SITE: UNKNOWN

CONTACT INFORMATION

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PLANS PREPARED BY:

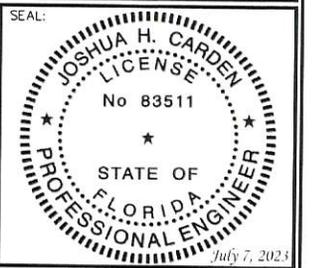


TOWER ENGINEERING PROFESSIONALS
 326 TRYON ROAD
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 FL COA # 31011

REV	DATE	ISSUED FOR:
2	07/07/23	CORRECTURE
1	05/19/23	CORRECTURE
0	04/17/23	PRELIMINARY

DRAWN BY: CH **CHECKED BY:** JHJ

DIGITAL SEAL:
 THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY JOSHUA H. GARDEN ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



SHEET NUMBER: T-1 **REVISION:** 2
 TEP#: 234099-00001

GENERAL NOTES:

1. ALL REFERENCES MADE TO LESSEE IN THESE DOCUMENTS SHALL BE CONSIDERED VERIZON WIRELESS OR ITS DESIGNATED REPRESENTATIVE.
2. ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING TO HAVE SUFFICIENT EXPERIENCE AND ABILITY, IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE OF FLORIDA.
3. WORK SHALL BE COMPLETED IN ACCORDANCE WITH ANSII/A 222-H-2-2017 STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES, ASCE 7-05 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES AND THE 2020 FLORIDA BUILDING CODE, 7TH EDITION.
4. UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS, OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT.
5. ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERSEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
6. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF TEMPORARY BRACING, GUYS OR TIE DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER THE COMPLETION OF THE PROJECT.
7. THE LESSEE SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHILE WORK IS BEING PERFORMED. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS PRIOR TO SUBMITTING THE PROPOSAL. ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS (LATEST REVISION) SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING ANY MATERIALS ORDERING, FABRICATION OR CONSTRUCTION WORK ON THIS PROJECT. CONTRACTOR SHALL NOT SCALE CONTRACT DRAWINGS IN LIEU OF FIELD VERIFICATION. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LESSEE AND THE LESSEE'S ENGINEER. THE DISCREPANCIES MUST BE RESOLVED BEFORE THE CONTRACTOR IS TO PROCEED WITH THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION, THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE LESSEE AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE PROCEDURES. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY GOVERNING AGENCY INSPECTORS.
8. ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE LESSEE AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
9. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES, AND COMPLIANCE WITH LOCAL, PROVINCIAL AND FEDERAL REGULATIONS REGARDING SAFETY, SHALL BE THE CONTRACTOR'S RESPONSIBILITY, AND THIS, PER THE INTERNATIONAL CODE - REGULATORS RESPECTING OCCUPATIONAL SAFETY & HEALTH THE SUCCESSFUL CONTRACTOR WILL SUBMIT HIS SAFETY MANUAL AT THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
10. ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS, WITH THE LESSEE'S PROJECT MANAGER.
11. BILL OF MATERIALS AND PART NUMBERS LISTED ON CONSTRUCTION DRAWINGS ARE INTENDED TO AID CONTRACTOR/LESSEE. CONTRACTOR/LESSEE SHALL VERIFY PARTS AND QUANTITIES WITH MANUFACTURER PRIOR TO BIDDING AND/OR ORDERING MATERIALS.
12. THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC.) ALL MATERIAL NOT SUITABLE FOR SUBGRADE IN ITS PRESENT STATE. AFTER REWORKING, IF THE MATERIAL REMAINS UNSUITABLE, THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL. ALL SUBGRADES SHALL BE PROOF-ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFT MATERIAL SHALL BE REWORKED OR REPLACED.
13. THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL PIPES, DITCHES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTED BY THE LESSEE. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURE IN OPERABLE CONDITION.
14. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM ACCEPTANCE DATE.
15. ANY BUILDINGS ON THIS SITE ARE INTENDED TO SHELTER EQUIPMENT WHICH WILL ONLY BE PERIODICALLY MAINTAINED, AND ARE NOT INTENDED FOR HUMAN OCCUPANCY.
16. TEMPORARY FACILITIES FOR PROTECTION OF TOOLS AND EQUIPMENT SHALL CONFORM TO LOCAL REGULATIONS AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
17. RENTAL CHARGES, SAFETY, PROTECTION AND MAINTENANCE OF RENTED EQUIPMENT SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
18. THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL CARRY LIABILITY INSURANCE IN THE AMOUNTS AND FORM IN ACCORDANCE WITH SPECIFICATIONS. CERTIFICATES DEMONSTRATING PROOF OF COVERAGE SHALL BE PROVIDED TO PRIOR TO THE START OF THE WORK ON THE PROJECT.

19. THE CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITY SERVICES TO VERIFY LOCATIONS OF EXISTING UTILITIES AND REQUIREMENTS FOR NEW UTILITY CONNECTIONS PRIOR TO EXCAVATING. CONTRACTOR WILL BE RESPONSIBLE TO ASSIST IN COORDINATING AND OBTAINING PRIMARY POWER TO THE SITE PRIOR TO TOWER ERECTION BEFORE PROJECT COMPLETION. (ON SITE VISITS WITH UTILITY COMPANY REPRESENTATIVES AS NECESSARY, ETC...)
20. THE CONTRACTOR SHALL GUARANTEE THE WORK PERFORMED ON THE PROJECT BY THE CONTRACTOR AND ANY OR ALL OF THE SUBCONTRACTORS WHO PERFORMED WORK FOR THE CONTRACTOR ON THIS PROJECT. THE GUARANTEE SHALL BE FOR A FULL YEAR FOLLOWING ISSUANCE OF THE FINAL PAYMENT OF HOLDBACK.
21. AWARDED CONTRACTOR WILL BE REQUIRED TO SIGN AND RETURN A COPY OF AN AWARD LETTER FOR THE LESSEE'S FILE.
22. CONTRACTOR WILL BE REQUIRED TO PROVIDE PROOF OF LICENSE TO PERFORM WORK IN JURISDICTION AT TIME OF BID AWARD.
23. CONTRACTOR WILL PROVIDE A CONSTRUCTION SCHEDULE PRIOR TO CONSTRUCTION STARTING AND WILL PROVIDE UPDATE/CHANGES (WITH EXPLANATIONS) TO THAT SCHEDULE WHEN/IF ITEMS ARE DELAYED OR PUSHED OUT.
24. CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE PROJECT MANAGERS WITH PHOTOS OF THE MAJOR CONSTRUCTION MILESTONES AS THEY OCCUR.
25. CONTRACTOR SHOULD BE PREPARED FOR RANDOM SAFETY INSPECTIONS AT ALL TIMES.
26. CONTRACTOR IS EXPECTED TO MAINTAIN PROPER WORKING CONDITIONS AND PROCEDURES PER LOCAL AND FEDERAL STANDARDS AT ALL TIMES.
27. CONTRACTOR WILL BE REQUIRED TO OBTAIN THE NECESSARY ELECTRICAL PERMITS AND INSPECTIONS AS REQUIRED BY JURISDICTION.
28. CONTRACTOR IS RESPONSIBLE FOR CONCRETE COMPRESSION TESTING.
29. CONTRACTOR IS RESPONSIBLE FOR GROUND MEG TESTING AND PROVIDING PROOF OF RESULT.
30. WHEN REQUESTED, PROVIDE 3 COPIES OF FABRICATION AND ERECTION DRAWINGS PRIOR TO FABRICATION. ALLOW UP TO 1 WEEK FOR REVIEW BY CONSULTANT.
31. IN ADDITION TO CONTRACTOR'S QUALITY CONTROL PROGRAM, INDEPENDENT TESTING AND INSPECTION MAY BE PERFORMED BY LESSEE OR LESSEE'S REPRESENTATIVE.
32. SUBMIT RED-LINES COPY OF CONSTRUCTION DRAWINGS UPON COMPLETION OF CONSTRUCTION HIGHLIGHTING CHANGES IN THE STAMPED AND SIGNED AS-BUILT CONDITION FROM SHOWN ON THE DRAWINGS.
33. CONTRACTOR WILL BE RESPONSIBLE FOR ALL GRADING AND FILL COMPACTION TESTING REQUIRED AS SET FORTH IN THE GEO TECHNOLOGICAL REPORT PROVIDED BY LESSEE.

CONCRETE:

1. ALL CONCRETE AND CONCRETE MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE 2020 FLORIDA BUILDING CODE, 7TH EDITION.
2. THE CONTRACTOR SHALL TAKE SAMPLES OF THE CONCRETE POURED UNDER THE CONDITIONS OUTLINED IN THE 2020 FLORIDA BUILDING CODE, 7TH EDITION.
3. ANY FAILURE OF A CONCRETE TEST CYLINDER TO MEET THE SPECIFIED STRENGTH REQUIREMENTS MUST BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY. CORRECTIVE ACTION MUST BE APPROVED BY THE ENGINEER AND ALL RELATED COSTS SHALL BE AT THE CONTRACTOR'S EXPENSE.
4. THE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF THE CONCRETE SHALL BE A MINIMUM OF 4,000 PSI (21 MPA), EXCEPT AS NOTED OR DIRECTED IN THE SOIL REPORT. THE CONCRETE, WHEN POURED, SHALL CONTAIN 7% AIR ENTRAINMENT WITH AN ALLOWABLE VARIATION OF +2%.
5. CONTRACTOR MUST TAKE SLUMP TEST AT LEAST ONCE FROM EACH TRANSIT MIXER AFTER A MINIMUM OF 5% CONCRETE LOAD HAS BEEN DISCHARGED. SLUMP, UNLESS NOTED OTHERWISE ON THE DRAWINGS, SHALL BE 75 MM (2.95 INCHES).
6. MIXED CONCRETE ON SITE (REMOTE AREAS) WITH THE CORRECT PROPORTION OF CEMENT, SAND, GRAVEL, AND AIR-ENTRAINING AGENT ALREADY ADDED, THE DRY PREMIX IS TO BE MIXED IN A CONCRETE BATCHER IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
7. BEFORE POURING CONCRETE, THE TRANSPORTING EQUIPMENT AND FORMS SHALL BE CLEANED AND ALL DEBRIS AND ICE SHALL BE REMOVED FROM PLACES TO BE OCCUPIED BY THE CONCRETE. ANY WATER THAT HAS ACCUMULATED IN THE FORMS SHALL BE REMOVED.
8. ALL CONCRETE SHALL BE VIBRATED AND WORKED AROUND THE REINFORCEMENTS, EMBEDDED FIXTURES AND INTO THE CORNERS OF THE FORMS. ANY EXCESS WATER THAT ACCUMULATES WHILE THE CONCRETE IS BEING POURED SHALL BE REMOVED.

PLANS PREPARED FOR:



4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

PROJECT INFORMATION:

VZW SITE #: 72759
VZW SITE NAME:
ICHETUCKNEE SPRINGS
COUNTY ROAD 137 AND US HIGHWAY 27
BRANFORD, FL 32008
(SUWANNEE COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS

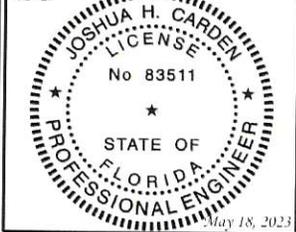


326 TRYON ROAD
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FL COA # 31011

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SEAL:



1	05-18-23	CONSTRUCTION
0	04-17-23	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: *CT* CHECKED BY: *PH*

SHEET TITLE:
GENERAL NOTES

SHEET NUMBER: N-1	REVISION: 1 TEP#: 214659, 40061
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CONCRETE (CONTINUED):

- THE DESIGN ENGINEER SHALL RECEIVE A MINIMUM OF 24 HOURS NOTICE OF EVERY POUR.
- THE CONCRETE IN FOUNDATIONS MUST BE POURED IN CONTINUOUS POURS BETWEEN CONSTRUCTION JOINTS. NO CONSTRUCTION JOINTS OTHER THAN THOSE SHOWN ON SITE SPECIFIC DRAWINGS WILL BE PERMITTED. THE CONTRACTOR SHALL PROVIDE EFFICIENT EQUIPMENT TO COMPLETE THE POURING OF EACH SECTION IN ONE CONTINUOUS POUR.
- ALL FRAMEWORK SHALL BE BUILT IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE SHALL BE THOROUGHLY BRACED AND PLUMBED SO THAT THE FINISHED CONCRETE WILL CONFORM TO THE SHAPES, LINES, GRADES, AND DIMENSIONS INDICATED ON THE SITE DRAWINGS.
- FORMS AND SHORING SHALL NOT BE REMOVED UNTIL THE CONCRETE IS ADEQUATELY SET. THEIR REMOVAL SHALL BE DONE IN SUCH A MANNER AS TO ENSURE THE COMPLETE SAFETY OF THE STRUCTURE.
- FORMS WHICH SUPPORT THE WEIGHT OF THE CONCRETE, OR OF SUPERIMPOSED LOADS, SHALL NOT BE REMOVED UNTIL THE CONCRETE IS STRONG ENOUGH TO CARRY ITS OWN WEIGHT, AND SUCH SUPERIMPOSED LOADS AS MAY BE PLACED UPON IT.
- THE CONCRETE SHALL BE MAINTAINED IN A MOIST CONDITION FOR AT LEAST 5 DAYS AFTER IT HAS BEEN POURED.
- ALL SURFACES WHICH ARE NOT PROTECTED BY FORMS OR A SEALED WATERPROOF COATING SHALL BE KEPT MOIST BY CONTINUOUS SPRINKLING, OR OTHER MEANS SUCH AS COVERING WITH MOIST SAND, SAWDUST, OR BURLAP.
- WHERE NECESSARY, THE CONCRETE SHALL BE PROTECTED AGAINST THE WEATHER BY A FRAMED HOUSING, TARPULINS, OR OTHER SUITABLE COVERING.

REINFORCING STEEL (REBAR):

- REINFORCING STEEL SHALL MEET CODE AND BE PLACED ACCORDING TO THE APPLICABLE DRAWINGS. THE MINIMUM THICKNESS OF CONCRETE OVER THE STEEL SHALL BE AT LEAST 3".
- ALL REINFORCEMENTS THAT ARE REQUIRED FOR A DAYS POUR ON CONCRETE SHALL BE SECURELY FIXED IN PLACE IN SUFFICIENT TIME TO PERMIT INSPECTION BEFORE CONCRETING BEGINS.
- THE DESIGN ENGINEER SHALL BE GIVEN 24 HOURS NOTICE BEFORE THE CONCRETE IS TO BE POURED. FAILURE TO COMPLY MAY NECESSITATE, BUT NOT BE LIMITED TO, THE REMOVAL OF THE POURED CONCRETE AT THE CONTRACTOR'S EXPENSE.

GROUTING:

- WHERE GROUT IS INDICATED ON THE DRAWINGS UNDER STRUCTURAL BASE PLATES, THIS SHALL BE A NON-SHRINK, NON-FERROUS TYPE. METHODS OF MIXING AND PLACING MUST BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

COLD WEATHER CONCRETING:

- THE CONTRACTOR SHALL PROVIDE AND HAVE ON THE SITE READY FOR USE, ADEQUATE EQUIPMENT FOR HEATING CONCRETE MATERIALS AND PROTECTING FRESH CONCRETE DURING FREEZING OR NEAR FREEZING WEATHER CONDITIONS, ACCORDING TO THE FLORIDA UNIFORM STATEWIDE BUILDING CODE.
- ALL CONCRETE MATERIALS, REBAR, FORMS, FILLERS, AND THE EARTH WITH WHICH THE CONCRETE IS TO COME INTO CONTACT WITH, SHALL BE FREE FROM FROST AND ICE.
- WHENEVER THE SURROUNDING TEMPERATURE IS BELOW 39°F, ALL CONCRETE POURED IN THE FORMS SHALL HAVE A TEMPERATURE OF 68°F FOR 4 DAYS.
- THE HOUSING, COVERING, OR OTHER PROTECTION USED FOR THE CURING SHALL REMAIN IN PLACE AND INTACT FOR AT LEAST 24 HOURS AFTER THE ARTIFICIAL HEATING IS DISCONTINUED.
- SALT, CALCIUM CHLORIDE, OR OTHER CHEMICALS SHALL NOT BE USED IN THE CONCRETE MIX TO PREVENT THE WATER CONTENT FROM FREEZING.

GRADING:

- THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC...) ALL MATERIAL NOT SUITABLE FOR SUB GRADE IN ITS PRESENT STATE. IF THE MATERIAL, AFTER REWORKING, REMAINS UNSUITABLE THEN THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL AT HIS EXPENSE. ALL SUB GRADES SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFT MATERIAL SHALL BE REWORKED OR REPLACED.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL DITCHES, PIPES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTABLE BY THE LESSEE. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURES IN OPERABLE CONDITION.
- ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE (1) YEAR FROM DATE OF ACCEPTANCE.

UTILITIES:

- CONTRACTOR SHALL CONTACT A SUBSURFACE UTILITY LOCATOR FOR LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. LOCATION OF EXISTING SEWER, WATER LINES, GAS LINES, CONDUITS OR OTHER STRUCTURES ACROSS, UNDERNEATH, OR OTHERWISE ALONG THE LINE OF PROPOSED WORK ARE NOT NECESSARILY SHOWN ON THE PLANS, AND IF SHOWN ARE ONLY APPROXIMATELY CORRECT. CONTRACTOR ASSUMES SOLE RESPONSIBILITY FOR VERIFYING LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES (INCLUDING TEST PITS BY HAND IF NECESSARY) IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OF ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS, OR IF THERE APPEARS TO BE A CONFLICT.
- CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH APPROPRIATE UTILITY LESSEES AND CONSTRUCTION MANAGER.
- DAMAGE BY THE CONTRACTOR TO UTILITIES OR PROPERTY OF OTHERS, INCLUDING EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE LESSEE. FOR GRASSES AREAS, SEED AND MULCH SHALL BE ACCEPTABLE.
- THE CONTRACTOR SHALL COORDINATE WITH THE LESSEE THE REQUIREMENTS FOR AND LIMITS OF OVERHEAD AND/OR UNDERGROUND ELECTRICAL SERVICE.
- THE CONTRACTOR SHALL COORDINATE THE LOCATION OF NEW UNDERGROUND TELEPHONE SERVICE WITH THE TELEPHONE UTILITY AND THE LESSEE'S REQUIREMENTS.
- ALL UNDERGROUND UTILITIES SHALL BE INSTALLED AND TESTED SATISFACTORY PRIOR TO COMMENCING ANY PAVING OPERATIONS WHERE SUCH UTILITIES ARE WITHIN THE LIMITS OF PAVEMENT.

PLANS PREPARED FOR:

verizon

4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

PROJECT INFORMATION:

VZW SITE #: 722759
VZW SITE NAME:
ICHETUCKNEE SPRINGS
COUNTY ROAD 137 AND US HIGHWAY 27
BRANFORD, FL 32008
(SUWANNEE COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS



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FL COA # 31011

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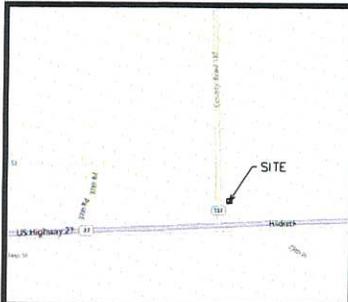
1	05-18-23	CONSTRUCTION
0	04-17-23	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: *GT* CHECKED BY: *RL*

SHEET TITLE:

**GENERAL
NOTES**

SHEET NUMBER:	REVISION:
N-2	1
	TEP# 214099, 240661



VICINITY MAP n.t.s.

NOTES
 1. BASIS OF THE BEARINGS AND COORDINATES IS THE FLORIDA NORTH STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM (NAD 83/2011) BASED ON DIFFERENTIAL GPS OBSERVATIONS PERFORMED ON JANUARY 19, 2023, TIED TO THE FLORIDA PERMANENT REFERENCE NETWORK, (FPRN), USING REAL-TIME-KINEMATIC (RTK) GPS SYSTEM, INCORPORATING A SPECTRA SP55 GPS RECEIVER AND EXPRESSED IN US SURVEY FEET.

2. THIS SURVEY IS FOR THE LEASED PREMISES AND EASEMENTS ONLY. THIS SURVEY SHALL NOT BE USED AS AN EXHIBIT OR EVIDENCE IN THE TITLE SIMPLE TRANSFER OF THE PARENT PARCEL NOR ANY PORTION OR PORTIONS THEREOF. BOUNDARY INFORMATION SHOWN HEREON HAS BEEN COMPILED FROM TAX MAPS AND DEED DESCRIPTIONS ONLY. NO BOUNDARY SURVEY OF THE PARENT PARCEL WAS PERFORMED, EXCEPT AS PORTIONS SHOWN HEREON.

3. AREA COMPUTED BY COORDINATE GEOMETRY

4. DEED REFERENCE: OFFICIAL RECORD BOOK 1478 PAGE 438

5. PLAT REFERENCE: MAP #510B BY W.C. HALE & ASSOCIATES, INC. SURVEYING, DATED 1-29-91, SHEET 1-2

6. PARCEL #: 22-06S-15E-01385-00000

7. THIS SURVEY WAS PREPARED 01/19/2023 WITHOUT THE BENEFIT OF A TITLE REPORT, WHICH MAY REVEAL ADDITIONAL CONVEYANCES, EASEMENTS, RIGHTS-OF-WAY, ABANDONMENTS, OR RESTRICTIONS NOT SHOWN AND IS NOT AN ALTA/NSPS LAND TITLE SURVEY. TITLE REPORT WAS FURNISHED TO SURVEYOR 02/27/2023.

8. NO UNDERGROUND UTILITIES WERE OBSERVED AT THE TIME OF SURVEY.

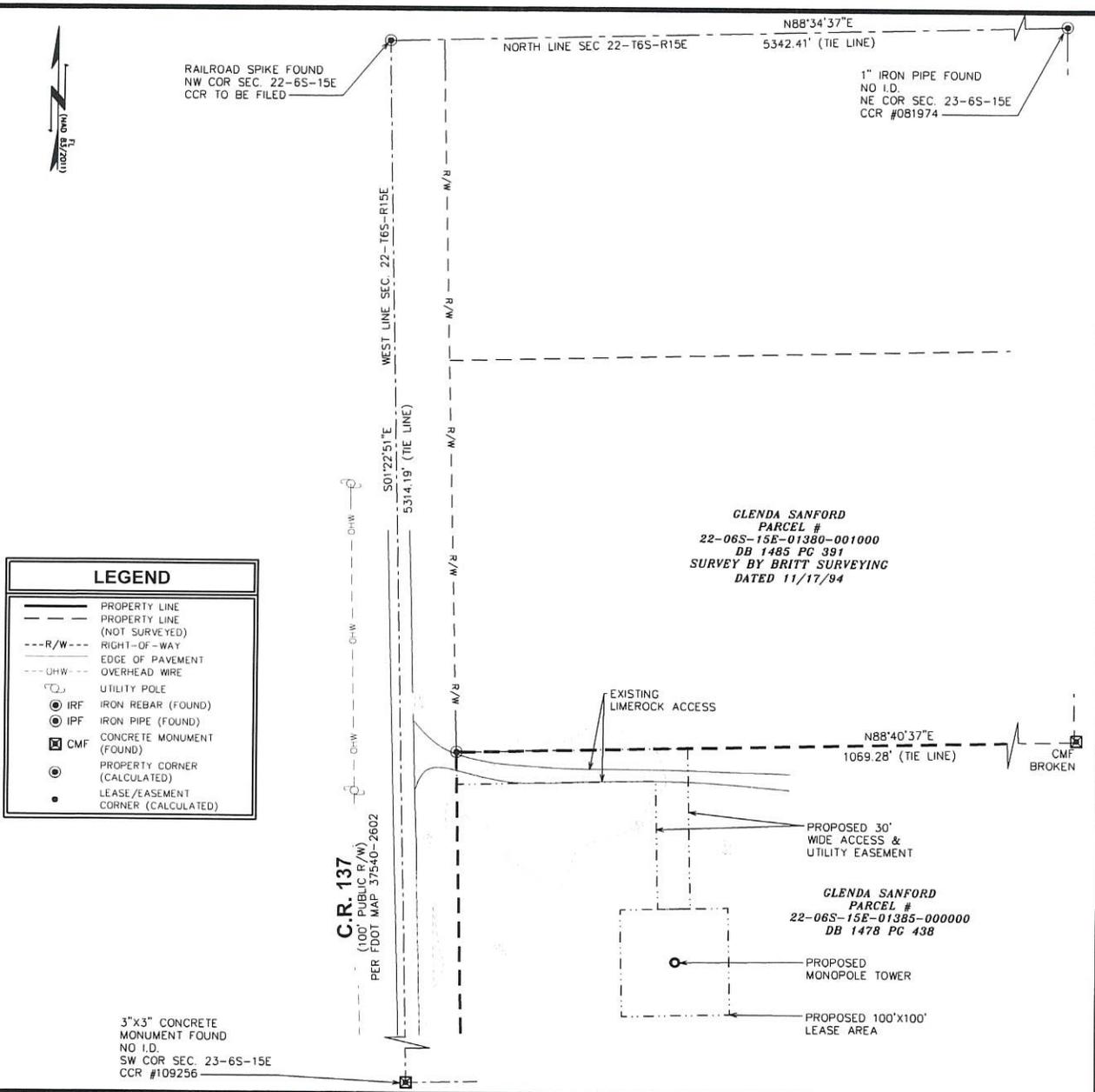
9. ALL PROPERTY OWNERSHIPS WERE TAKEN FROM CURRENT COUNTY TAX MAP RECORDS AND/OR RECORDED PLATS ONLY.

10. BY GRAPHIC DETERMINATION THE SUBJECT PROPERTY LIES IN FLOOD ZONE "X", AREA DETERMINED TO BE OUTSIDE 0.2% CHANCE OF ANNUAL FLOOD BASED UPON FEMA COMMUNITY PANEL # 3720392800J, EFFECTIVE JULY 03, 2007.

11. LESSEE INFORMATION:
 VERIZON
 4700 EXCHANGE COURT, SUITE 100
 BOCA RATON, FL 33431

12. PROPERTY OWNER INFORMATION:
 GLENDA SANFORD
 PO BOX 457
 BRANFORD, FL 32008

REV	DATE	ISSUED FOR	INITIALS
0	03/01/2023	PRELIMINARY	JCS
1	04/18/2023	FINAL	DDS



LEGEND

- — — — — PROPERTY LINE
- — — — — PROPERTY LINE (NOT SURVEYED)
- R/W--- RIGHT-OF-WAY
- — — — — EDGE OF PAVEMENT
- UHW--- OVERHEAD WIRE
- ⊙ UTILITY POLE
- ⊙ IRF IRON REBAR (FOUND)
- ⊙ IPF IRON PIPE (FOUND)
- ⊙ CMF CONCRETE MONUMENT (FOUND)
- ⊙ PROPERTY CORNER (CALCULATED)
- LEASE/EASEMENT CORNER (CALCULATED)

TEP ENGINEERING, PLLC
 5906 BRECKENRIDGE PARKWAY, SUITE A
 TAMPA, FL 33610
 COA # LB8217

SHEET # 1 OF 3 | TEP # 314699

I HEREBY CERTIFY THAT THE ATTACHED PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE LANDS RECENTLY SURVEYED AND DRAWN UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION, THAT THE SURVEY SHOWN CONFORMS TO THE APPLICABLE REQUIREMENTS OF FLORIDA STATUTES CHAPTER 177 AND SECTIONS 5J-17.051 OF THE FLORIDA ADMINISTRATIVE CODE
 CERTIFIED THIS 18TH DAY OF APRIL, 2023



DocuSigned by:
ALAN H. ALLBERT
 B57AD038B8F4BC

ALAN H. ALLBERT
 P.S.M. NO. LS 7271

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY (ALAN H. ALLBERT, P.S.M. LS 7271 ON APRIL 18, 2023.) SURVEY MAP AND/OR REPORT OF THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER.

722759
ICHETUKNEE SPRINGS
SEC. 22 - T6S - R15E
 CR 137 & US HIGHWAY 27
 BRANFORD, FL 32008
 SUWANNEE COUNTY

PRELIMINARY/PROPOSED TELECOMMUNICATIONS SITE SURVEY PREPARED FOR:

verizon
 4700 EXCHANGE COURT, SUITE 100
 BOCA RATON, FL 33431
 (561) 995-5539

FIELD WORK PERFORMED ON: 01/19/23
 0' 100' 200'
 SCALE: 1" = 100'
 ORIGINAL MAP SIZE 11 00" X 17 00"

POINT OF COMMENCEMENT
RAILROAD SPIKE FOUND
NW COR SEC. 22-65-15E
CCR TO BE FILED
N=351,938.45'
E=2,503,593.34'
NAD 83/2011

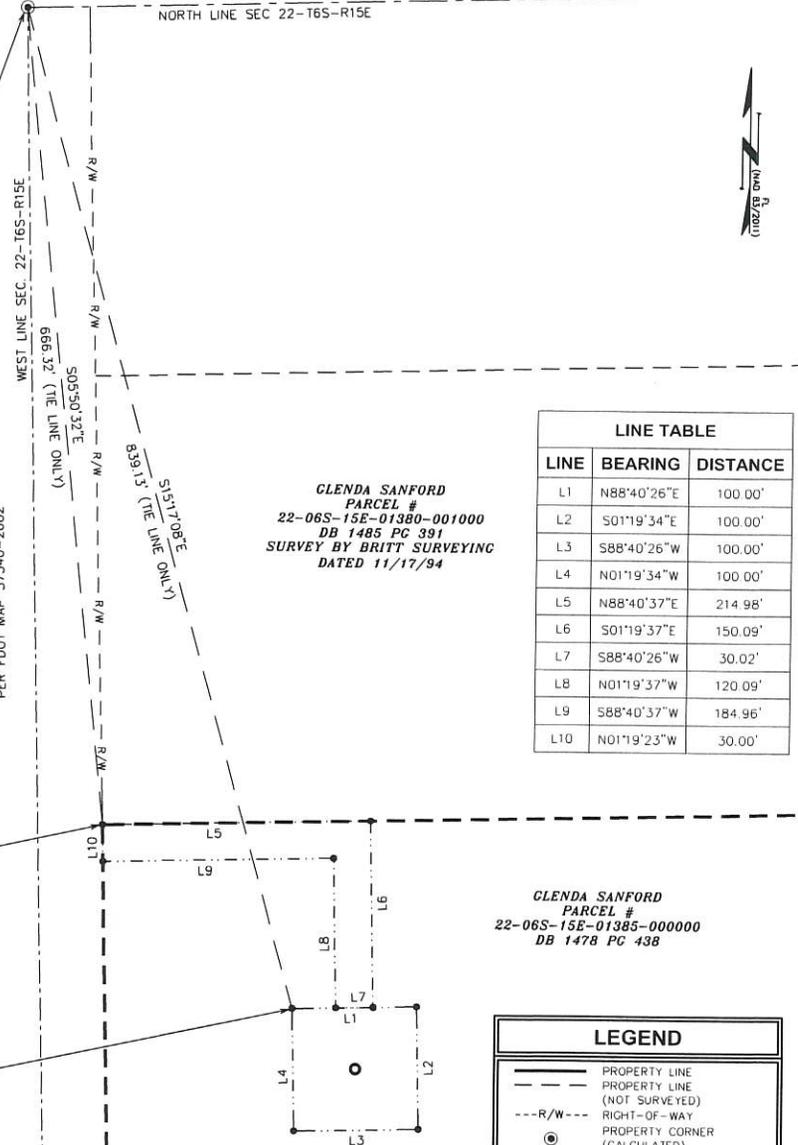
NORTH LINE SEC 22-T6S-R15E

WEST LINE SEC. 22-T6S-R15E

C.R. 137
(100' PUBLIC R/W)
PER FDOT MAP 37540-2602

POINT OF BEGINNING
PROPOSED 30' WIDE
ACCESS & UTILITY
EASEMENT
N=351,275.59'
E=2,503,661.16'
NAD 83/2011

POINT OF BEGINNING
PROPOSED 100'X100'
LEASE AREA
N=351,129.00'
E=2,503,814.56'
NAD 83/2011



LINE TABLE		
LINE	BEARING	DISTANCE
L1	N88°40'26"E	100.00'
L2	S01°19'34"E	100.00'
L3	S88°40'26"W	100.00'
L4	N01°19'34"W	100.00'
L5	N88°40'37"E	214.98'
L6	S01°19'37"E	150.09'
L7	S88°40'26"W	30.02'
L8	N01°19'37"W	120.09'
L9	S88°40'37"W	184.96'
L10	N01°19'23"W	30.00'

GLEND A SANFORD
PARCEL #
22-06S-15E-01385-000000
DB 1478 PC 438

LEGEND	
—	PROPERTY LINE
- - -	PROPERTY LINE (NOT SURVEYED)
- - - R/W - - -	RIGHT-OF-WAY
○	PROPERTY CORNER (CALCULATED)
●	LEASE/EASEMENT CORNER (CALCULATED)

LEGAL DESCRIPTION OF 100' X 100' LEASE AREA

ALL THAT CERTAIN LEASE AREA, SITUATED, LYING AND BEING IN SECTION 22, TOWNSHIP 6 SOUTH, RANGE 15 EAST, SUWANNEE COUNTY, FLORIDA, BEING A PORTION OF THE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 1478 AT PAGE 438 OF THE SUWANNEE COUNTY RECORDER AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN EXISTING RAILROAD SPIKE BEING THE NORTHWEST CORNER OF SAID SECTION 22, TOWNSHIP 6 SOUTH, RANGE 15 EAST, HAVING FLORIDA STATE PLANE COORDINATES OF NORTHING = 351,938.45', AND EASTING = 2,503,593.34'; THENCE, FROM THE POINT OF COMMENCEMENT, SOUTH 15°17'08" EAST A DISTANCE OF 839.13 FEET TO A POINT ON THE NORTHWEST CORNER OF THE HEREIN DESCRIBED 100' X 100' LEASE AREA, SAID POINT BEING THE TRUE POINT OF BEGINNING, HAVING FLORIDA STATE PLANE COORDINATES OF NORTHING = 351,129.00', AND EASTING = 2,503,814.56'; THENCE, FROM THE POINT OF BEGINNING, NORTH 88°40'26" EAST A DISTANCE OF 100.00 FEET TO A POINT; THENCE SOUTH 01°19'34" EAST A DISTANCE OF 100.00 FEET TO A POINT; THENCE SOUTH 88°40'26" WEST A DISTANCE OF 100.00 FEET TO A POINT; THENCE NORTH 01°19'34" WEST A DISTANCE OF 100.00 FEET TO THE POINT OF BEGINNING.

SAID LEASE AREA CONTAINING 10,000 SQUARE FEET OR 0.23 ACRES MORE OR LESS.

LEGAL DESCRIPTION OF 30' ACCESS & UTILITY EASEMENT

ALL THAT CERTAIN EASEMENT AREA, SITUATED, LYING AND BEING IN SECTION 22, TOWNSHIP 6 SOUTH, RANGE 15 EAST, SUWANNEE COUNTY, FLORIDA, BEING A PORTION OF THE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 1478 AT PAGE 438 OF THE SUWANNEE COUNTY RECORDER AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN EXISTING RAILROAD SPIKE BEING THE NORTHWEST CORNER OF SAID SECTION 22, TOWNSHIP 6 SOUTH, RANGE 15 EAST, HAVING FLORIDA STATE PLANE COORDINATES OF NORTHING = 351,938.45', AND EASTING = 2,503,593.34'; THENCE, FROM THE POINT OF COMMENCEMENT, SOUTH 05°50'32" EAST A DISTANCE OF 666.32 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF COUNTY ROAD 137, SAID POINT ALSO BEING THE NORTHWESTERLY CORNER OF THE PARCEL DESCRIBED IN SAID OFFICIAL RECORDS BOOK 1485 AT PAGE 391, SAID POINT BEING THE TRUE POINT OF BEGINNING HAVING FLORIDA STATE PLANE COORDINATES OF: NORTHING = 351,275.59'; AND EASTING = 2,503,661.16'; THENCE, FROM THE POINT OF BEGINNING AND LEAVING SAID RIGHT OF WAY, SOUTH 88°40'37" EAST A DISTANCE OF 214.98 FEET TO A POINT; THENCE SOUTH 01°19'37" EAST A DISTANCE OF 150.09 FEET TO A POINT; THENCE SOUTH 88°40'26" WEST A DISTANCE OF 30.02 FEET TO A POINT; THENCE NORTH 01°19'37" WEST A DISTANCE OF 120.09 FEET TO A POINT; THENCE SOUTH 88°40'37" WEST A DISTANCE OF 184.96 FEET TO A POINT ON SAID EASTERLY RIGHT OF WAY, THENCE AND WITH SAID EASTERLY RIGHT OF WAY NORTH 01°19'23" WEST A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING.

SAID EASEMENT AREA CONTAINING 10,054.86 SQUARE FEET OR 0.23 ACRES MORE OR LESS.

TEP ENGINEERING, PLLC
5906 BRECKENRIDGE PARKWAY, SUITE A
TAMPA, FL 33610
COA # LB8217

SHEET #	2 OF 3	TEP #	214609
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CERTIFIED THIS 18TH DAY OF APRIL, 2023.



DocuSigned by:
ALAN H. ALLBERT
0572AD00B0B04BC

ALAN H. ALLBERT
P.S.M. NO. LS 7271

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**722759
ICHETUCKNEE SPRINGS
SEC. 22 - T6S - R15E**

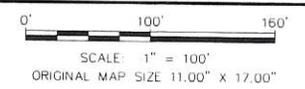
CR 137 & US HIGHWAY 27
BRANFORD, FL 32008
SUWANNEE COUNTY

PRELIMINARY/PROPOSED TELECOMMUNICATIONS
SITE SURVEY PREPARED FOR:



4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

FIELD WORK PERFORMED ON: 01/19/23



REV	DATE	ISSUED FOR	INITIALS
0	03/01/2023	PRELIMINARY	JCS
1	04/18/2023	FINAL	DDS

SCHEDULE B - SECTION II EXCEPTIONS

FIDELITY NATIONAL TITLE INSURANCE COMPANY
 COMMITMENT FOR TITLE INSURANCE
 COMMITMENT NO: 37860529
 COMMITMENT EFFECTIVE DATE: SEPTEMBER 29, 2022
 SCHEDULE B - SECTION II

1. TAXES
 TYPE OF TAX: COUNTY
 CALENDAR YEAR: 2021
 AMOUNT: \$61.65 ANNUALLY
 PARCEL ID #: 22-06S-15E-01380-001000
 PAID THROUGH: 2021
 ASSESSMENT: \$4,185.00 (TOTAL = LAND AND IMPROVEMENTS, IF ANY) (AFFECT PARENT PARCEL NOT SURVEY RELATED.)

TITLE LEGAL DESCRIPTION

PROPERTY LOCATED IN SUWANNEE COUNTY, FLORIDA

THE FOLLOWING DESCRIBED LAND IN SUWANNEE COUNTY, FLORIDA, TO-WIT:

LEG 16.48 ACRES COMM AT NW COR OF SEC & RUN E 50 FT TO E R/W LINE OF SR #137
 THENCE S 299.19 FT FOR POB CONT S 365.11 FT E 1069.28 FT N 210 FT E 210 FT S 514.73
 FT E 245.43 FT N 60 FT E 342.64 FT N 455.25 FT W 509.02 FT N 155.10 FT W 1360.30 FT
 TO POB ORB 512 P. 472-474 AFD YR 95 ORB 575 P 285-286 WD YR 97.

AND BEING THE SAME PROPERTY CONVEYED TO GLENDA SANFORD FROM ELWYN W. ROBINSON,
 TRUSTEE BY WARRANTY DEED DATED MARCH 13, 1996 AND RECORDED MARCH 28, 1996 IN
 DEED BOOK 575, PAGE 285; AND FURTHER CONVEYED TO GLENDA J. SANFORD AS TRUSTEE OF
 THE GLENDA J. SANFORD REVOCABLE TRUST DATED JANUARY 31, 1997, AS MAY BE
 AMENDED FROM GLENDA J. SANFORD AND CHARLES R. SANFORD BY QUITCLAIM DEED DATED
 SEPTEMBER 10, 2008 AND RECORDED SEPTEMBER 15, 2008 IN DEED BOOK 1485, PAGE 391

TAX PARCEL NO. 22-06S-15E-01380-001000



SHEET # 3 OF 3 TEP # 314619

I HEREBY CERTIFY THAT THE ATTACHED PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE LANDS RECENTLY SURVEYED AND DRAWN UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION, THAT THE SURVEY SHOWN CONFORMS TO THE APPLICABLE REQUIREMENTS OF FLORIDA STATUTES CHAPTER 177 AND SECTIONS 5J-17.051 OF THE FLORIDA ADMINISTRATIVE CODE.
 CERTIFIED THIS 18TH DAY OF APRIL, 2023.



DocuSigned by:

 LS72AD03080F40C
ALAN H. ALLBERT
 P.S.M. NO. LS 7271

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722759
ICHETUCKNEE SPRINGS
SEC. 22 - T6S - R15E
 CR 137 & US HIGHWAY 27
 BRANFORD, FL 32008
 SUWANNEE COUNTY

PRELIMINARY/PROPOSED TELECOMMUNICATIONS SITE SURVEY PREPARED FOR:

verizon
 4700 EXCHANGE COURT, SUITE 100
 BOCA RATON, FL 33431
 (561) 995-5539
 FIELD WORK PERFORMED ON: 01/19/23

N.T.S.
 ORIGINAL MAP SIZE 11.00" X 17.00"

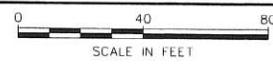
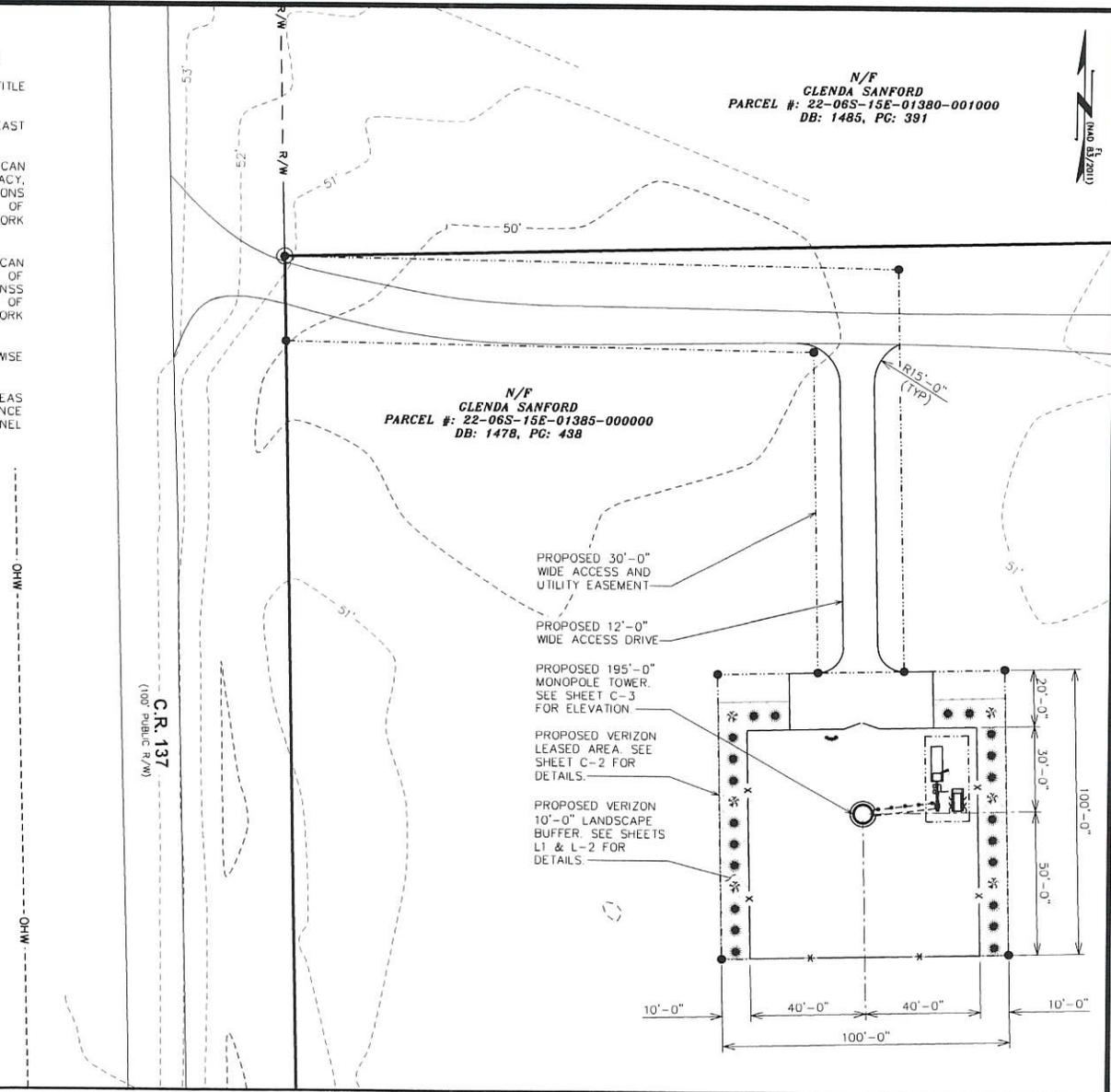
REV	DATE	ISSUED FOR	INITIALS
0	03/01/2023	PRELIMINARY	JCS
1	04/18/2023	FINAL	DDS

NOTES:

1. PLAN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
2. PLAN DOES NOT REPRESENT AN ALTA/NSPS LAND TITLE SURVEY.
3. BEARINGS ARE BASED ON FLORIDA, GRID NORTH, NAD83, EAST ZONE.
4. THE COORDINATES SHOWN HEREON ARE IN NORTH AMERICAN DATUM OF 1983, ARE TO THE THIRD ORDER OF ACCURACY, AND IS BASED ON MULTI FREQUENCY GNSS CORRECTIONS OBTAINED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION'S FLORIDA PERMANENT REFERENCE NETWORK (FPRN).
5. THE ELEVATIONS SHOWN HEREON ARE IN NORTH AMERICAN VERTICAL DATUM OF 1988, ARE TO THE THIRD ORDER OF ACCURACY, AND IS BASED ON MULTI FREQUENCY GNSS CORRECTIONS OBTAINED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION'S FLORIDA PERMANENT REFERENCE NETWORK (FPRN).
6. DISTANCES ARE HORIZONTAL GROUND UNLESS OTHERWISE NOTED.
7. THE TOWER CENTER IS LOCATED IN ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEMA COMMUNITY PANEL #12121C0458B EFFECTIVE SEPTEMBER 28, 2007.

LEGEND	
	EXIST. PROPERTY LINE
	ADJ. PROPERTY LINE
	EXIST. UTILITY POLE
	EXIST. TELCO PEDESTAL
	PROPERTY CORNER
	LEASE/EASE. CORNER
	EXIST. CONTOUR LINE
	EDGE OF PAVEMENT
	OVERHEAD WIRE
	RIGHT-OF-WAY
	CHAIN LINK FENCE
	EXISTING TREE LINE

SITE PLAN
SCALE: 1" = 40'



PLANS PREPARED FOR:

verizon

4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

PROJECT INFORMATION:

VZW SITE #: 722759
VZW SITE NAME:
ICHETUCKNEE SPRINGS
COUNTY ROAD 137 AND US HIGHWAY 27
BRANFORD, FL 32008
(SUWANNEE COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net
FL COA # 31011

DIGITAL SEAL:
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY JOSHUA H. GARDEN ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

SEAL:

JOSHUA H. GARDEN
LICENSE
No 83511
STATE OF FLORIDA
PROFESSIONAL ENGINEER
July 7, 2023

2	07-07-23	CONSTRUCTION
1	05-18-23	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: *CF* CHECKED BY: *JHJ*

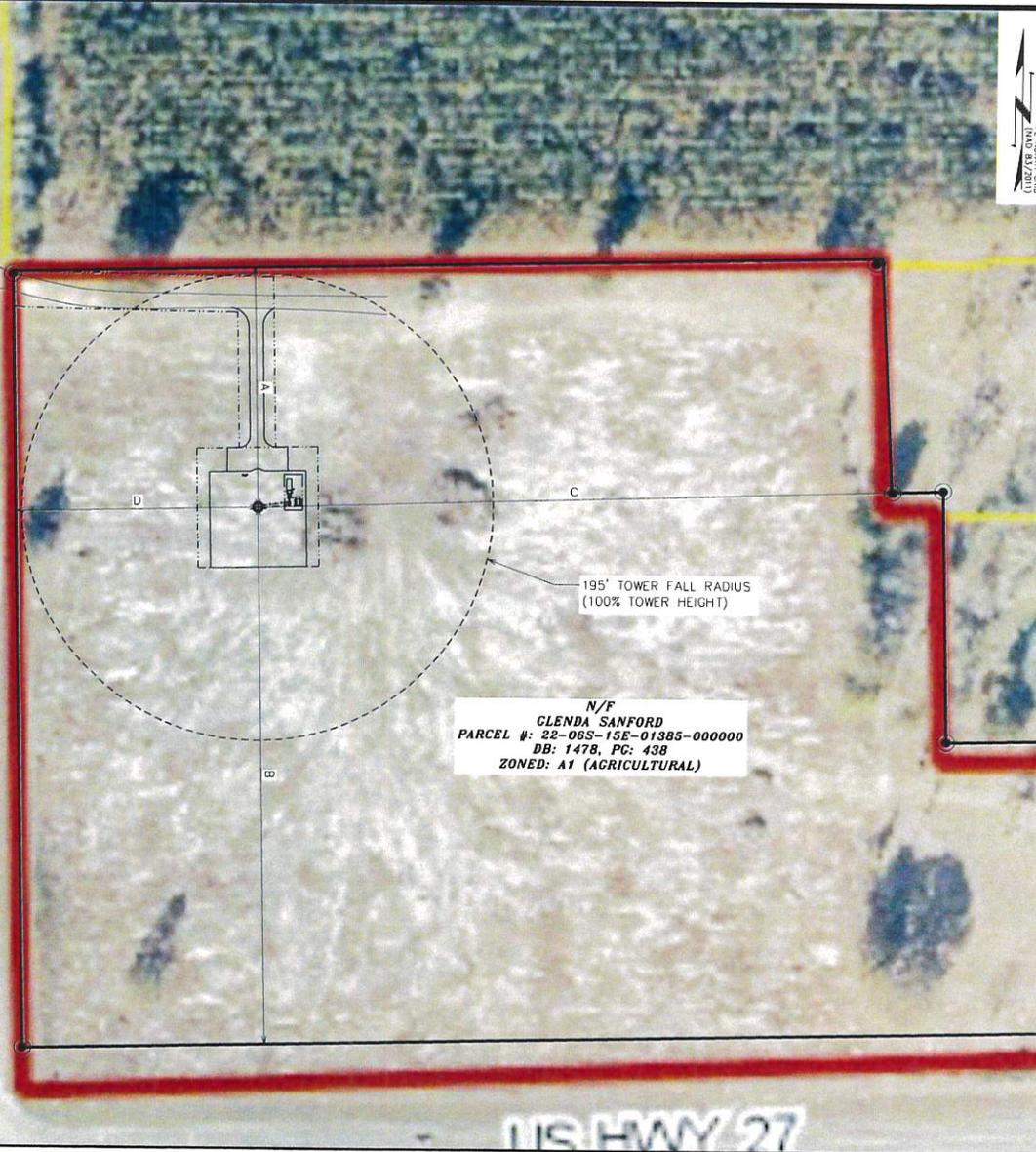
SHEET TITLE:
SITE PLAN

SHEET NUMBER: C-1	REVISION: 2 TEP#: 3144599 / 402061
-----------------------------	---

NOTES:

1. PLAN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
2. PLAN DOES NOT REPRESENT AN ALTA/NSPS LAND TITLE SURVEY.
3. BEARINGS ARE BASED ON FLORIDA, GRID NORTH, NAD83, EAST ZONE.
4. THE COORDINATES SHOWN HEREON ARE IN NORTH AMERICAN DATUM OF 1983, ARE TO THE THIRD ORDER OF ACCURACY, AND IS BASED ON MULTI FREQUENCY GNSS CORRECTIONS OBTAINED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION'S FLORIDA PERMANENT REFERENCE NETWORK (FPRN).
5. THE ELEVATIONS SHOWN HEREON ARE IN NORTH AMERICAN VERTICAL DATUM OF 1988, ARE TO THE THIRD ORDER OF ACCURACY, AND IS BASED ON MULTI FREQUENCY GNSS CORRECTIONS OBTAINED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION'S FLORIDA PERMANENT REFERENCE NETWORK (FPRN).
6. DISTANCES ARE HORIZONTAL GROUND UNLESS OTHERWISE NOTED.
7. THE TOWER CENTER IS LOCATED IN ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEMA COMMUNITY PANEL #12121C0458B EFFECTIVE SEPTEMBER 28, 2007.

COUNTY RD 137
 C.R. 137
 (100' PUBLIC R/W)



N/F
 CLENDA SANFORD
 PARCEL #: 22-06S-15E-01385-00000
 DB: 1478, PC: 438
 ZONED: A1 (AGRICULTURAL)

195' TOWER FALL RADIUS
(100% TOWER HEIGHT)

TOWER SETBACK TABLE

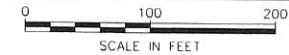
DESIGNATION	DIRECTION	SETBACK
A	NORTH	±200'
B	SOUTH	±447'
C	EAST	±523'
D	WEST	±200'

LEGEND

- EXIST. PROPERTY LINE
- PROPERTY CORNER

SETBACK PLAN

SCALE: 1" = 100'



PLANS PREPARED FOR:



4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

PROJECT INFORMATION:

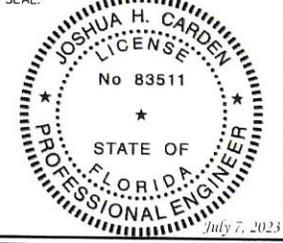
VZW SITE #: 722759
VZW SITE NAME:
ICHETUCKNEE SPRINGS
 COUNTY ROAD 137 AND US HIGHWAY 27
 BRANFORD, FL 32008
 (SUWANNEE COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
 326 TRYON ROAD
 RALEIGH, NC 27603-3530
 OFFICE: (919) 661-6351
 www.tepgroup.net
 FL COA # 31011

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SEAL:

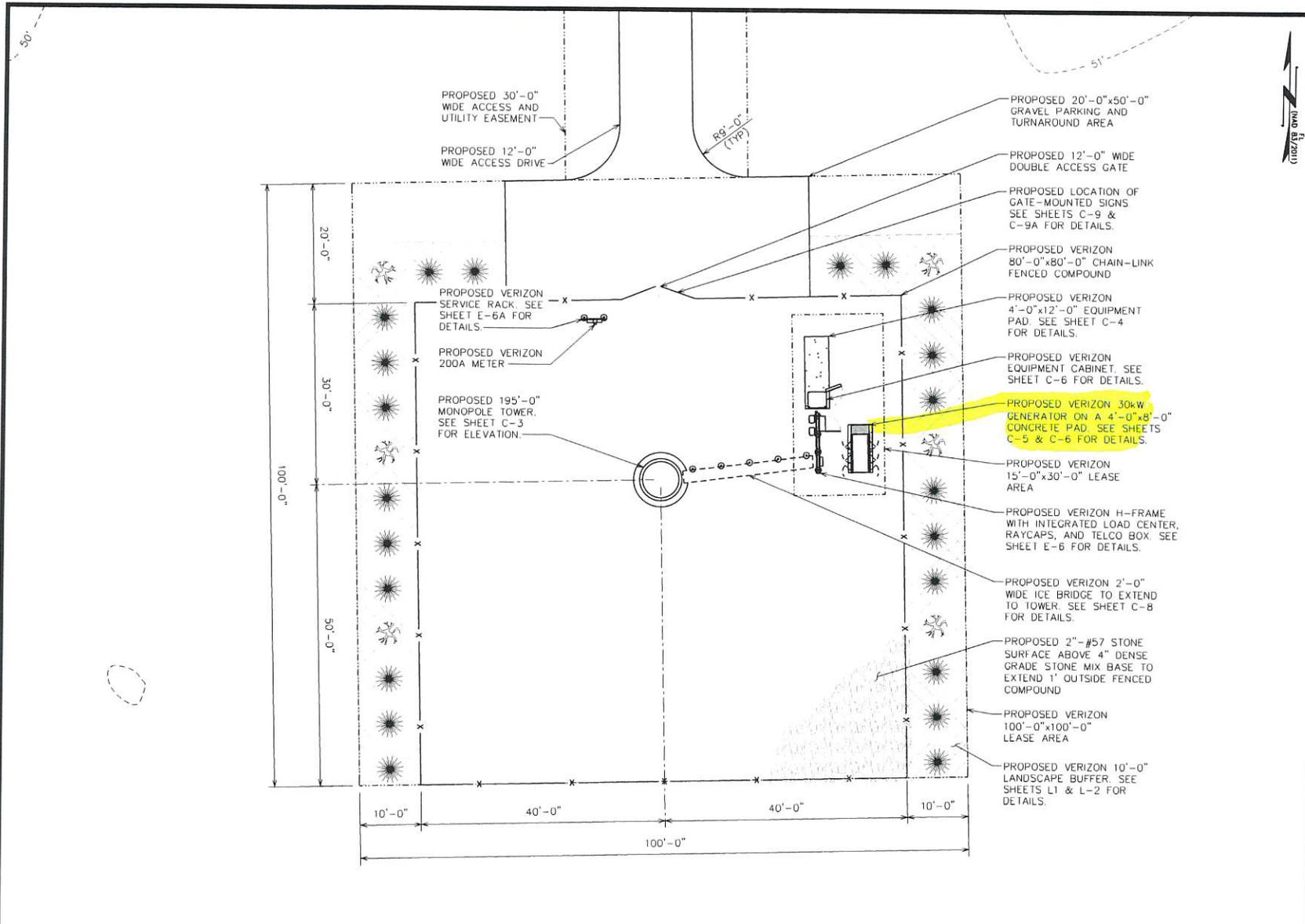


2	07/07/23	CONSTRUCTION
1	05/15/23	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: JH CHECKED BY: JH

SHEET TITLE:
SETBACK PLAN

SHEET NUMBER: C-1A	REVISION: 2
TEP#: 23146591-40001	



PLANS PREPARED FOR:

verizon

4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

PROJECT INFORMATION:
VZW SITE #: 722759
VZW SITE NAME:
ICHETUCKNEE SPRINGS
COUNTY ROAD 137 AND US HIGHWAY 27
BRANFORD, FL 32008
(SUWANNEE COUNTY)

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SEAL:

JOSHUA H. GARDEN
LICENSE
No 83511
STATE OF FLORIDA
PROFESSIONAL ENGINEER
May 18, 2023

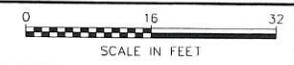
1	05-18-23	CORE REVISION
0	04-17-23	PRELIMINARY
REV	DATE	ISSUED FOR:
DRAWN BY: <i>CF</i>		CHECKED BY: <i>JH</i>

SHEET TITLE:

**COMPOUND
DETAIL**

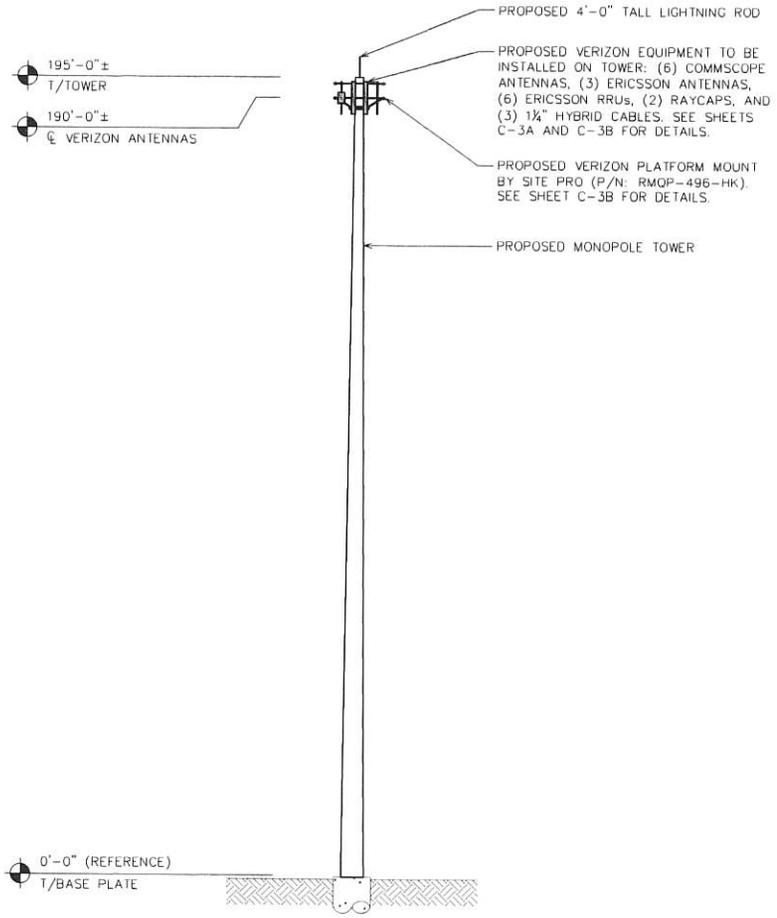
SHEET NUMBER: C-2	REVISION: 1 TEP#: 31-40597-740261
-----------------------------	--

COMPOUND DETAIL
SCALE: 1/8" = 1'-0"



NOTES:

1. PROPOSED HYBRID CABLES TO BE RUN IN A MANNER CONSISTENT WITH THE PASSING STRUCTURAL ANALYSIS REPORT.
2. TOWER ELEVATION SHOWN IS A SCHEMATIC. THE CONTRACTOR TO VERIFY ACTUAL TOWER DESIGN & LOADING WITH TOWER DRAWINGS FROM MANUFACTURER AND/OR STRUCTURAL ANALYSIS REPORT PRIOR TO CONSTRUCTION.
3. TOP OF APPURTENANCE HEIGHT IS 199'-0".



PLANS PREPARED FOR:

4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

PROJECT INFORMATION:

VZW SITE #: 722759
VZW SITE NAME:
ICHETUCKNEE SPRINGS

COUNTY ROAD 137 AND US HIGHWAY 27
BRANFORD, FL 32008
(SUWANNEE COUNTY)

PLANS PREPARED BY:

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326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 681-6351
www.tepgroup.net
FL COA # 31011

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SEAL:

1	05-15-23	CORRECTION
0	04-17-23	PRELIMINARY
REV	DATE	ISSUED FOR:

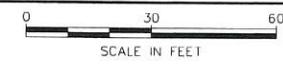
DRAWN BY: CJ CHECKED BY: BJ

SHEET TITLE:

TOWER ELEVATION

SHEET NUMBER:	REVISION:
C-3	1
	TEP#: 31-46592-740061

TOWER ELEVATION
SCALE: 1" = 30'



NOTES:

1. THE ANTENNA LAYOUT ON SHEET C-3B IS A SCHEMATIC. THE CONTRACTOR SHALL VERIFY TOWER ORIENTATION AND FIELD COORDINATE REQUIRED ADJUSTMENTS TO ACHIEVE THE DESIRED ANTENNA AZIMUTHS.
2. ANTENNA CENTERLINE HEIGHT BASED ON TOP OF GRADE.
3. ALL ANTENNAS, CABLES, AND MOUNTS SHALL BE INSTALLED IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S RECOMMENDATIONS IN A MANNER CONSISTENT WITH THE PASSING STRUCTURAL ANALYSIS REPORT.
4. ALL INFORMATION ON THIS SHEET TO BE CONFIRMED WITH VERIZON RF DESIGN PRIOR TO INSTALLATION.
5. TEP DID NOT PERFORM A STRUCTURAL ANALYSIS ON THE MOUNT. IT IS THE CARRIER'S RESPONSIBILITY TO ENSURE MOUNT CAN SUPPORT PROPOSED LOADS.

PROPOSED ANTENNA & COAX SCHEDULE												
POS.	SECTOR	USE	MANUFACTURER (MODEL #)	RAD CENTER	CABLE SIZE	AZIMUTH (TN)	CABLE LENGTH	MECH. D-TILT	ELEC. D-TILT	EQUIPMENT [MODEL #]	J-BOX (TOWER)	
1	ALPHA	AWS3 LTE	-	-	(3) 1 1/2" HYBRIDS	-	230'	-	-	(1) ERICSSON RRU [RRUS 4890]	(2) RAYCAPS [RCMDC-6627-PF-48]	
2	ALPHA	700 LTE	COMMSCOPE NHHSS-65C-R2BT2	⊕ @ 190'-0"±		0'		**	**			
3	ALPHA	850 LTE	COMMSCOPE NHHSS-65C-R2BT2	⊕ @ 190'-0"±		0'		**	**			
4	ALPHA	850 5G NR	ERICSSON AIR6419	⊕ @ 190'-0"±		0'		**	**			
5	BETA	1900 LTE	-	-		-		-	-	-		(1) ERICSSON RRU [RRUS 4890]
6	BETA	2100 LTE	COMMSCOPE NHHSS-65C-R2BT2	⊕ @ 190'-0"±		120'		**	**			
7	BETA	NL-SUB6	COMMSCOPE NHHSS-65C-R2BT2	⊕ @ 190'-0"±		120'		**	**			
8	BETA		ERICSSON AIR6419	⊕ @ 190'-0"±		120'		**	**			
9	GAMMA	AWS3 LTE	-	-		-		-	-	-		(1) ERICSSON RRU [RRUS 4890]
10	GAMMA	700 LTE	COMMSCOPE NHHSS-65C-R2BT2	⊕ @ 190'-0"±		250'		**	**			
11	GAMMA	850 LTE	COMMSCOPE NHHSS-65C-R2BT2	⊕ @ 190'-0"±		250'		**	**			
12	GAMMA	850 5G NR	ERICSSON AIR6419	⊕ @ 190'-0"±		250'		**	**			

*NOTE - CONTRACTOR TO VERIFY COAX/CABLE LENGTHS PRIOR TO CONSTRUCTION
 **NOTE - CONTRACTOR TO REFERENCE VERIZON ISSUED RFDS FOR MECH./ELEC. D-TILTS

PLANS PREPARED FOR:



4700 EXCHANGE COURT, SUITE 100
 BOCA RATON, FL 33431
 (561) 995-5539

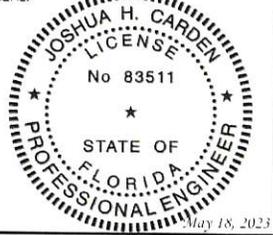
PROJECT INFORMATION:
VZW SITE #: 722759
VZW SITE NAME:
ICHETUCKNEE SPRINGS
 COUNTY ROAD 137 AND US HIGHWAY 27
 BRANFORD, FL 32008
 (SUWANNEE COUNTY)

PLANS PREPARED BY:
TOWER ENGINEERING PROFESSIONALS
 326 TRYON ROAD
 RALEIGH, NC 27603-3530
 OFFICE: (919) 661-6351
 www.tepgroup.net
 FL COA # 31011



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SEAL:



T	05-18-23	CONSTRUCTION
D	04-17-23	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: CJ	CHECKED BY: JPL
--------------	-----------------

SHEET TITLE:
ANTENNA & COAX SCHEDULE

SHEET NUMBER: C-3A	REVISION: 1
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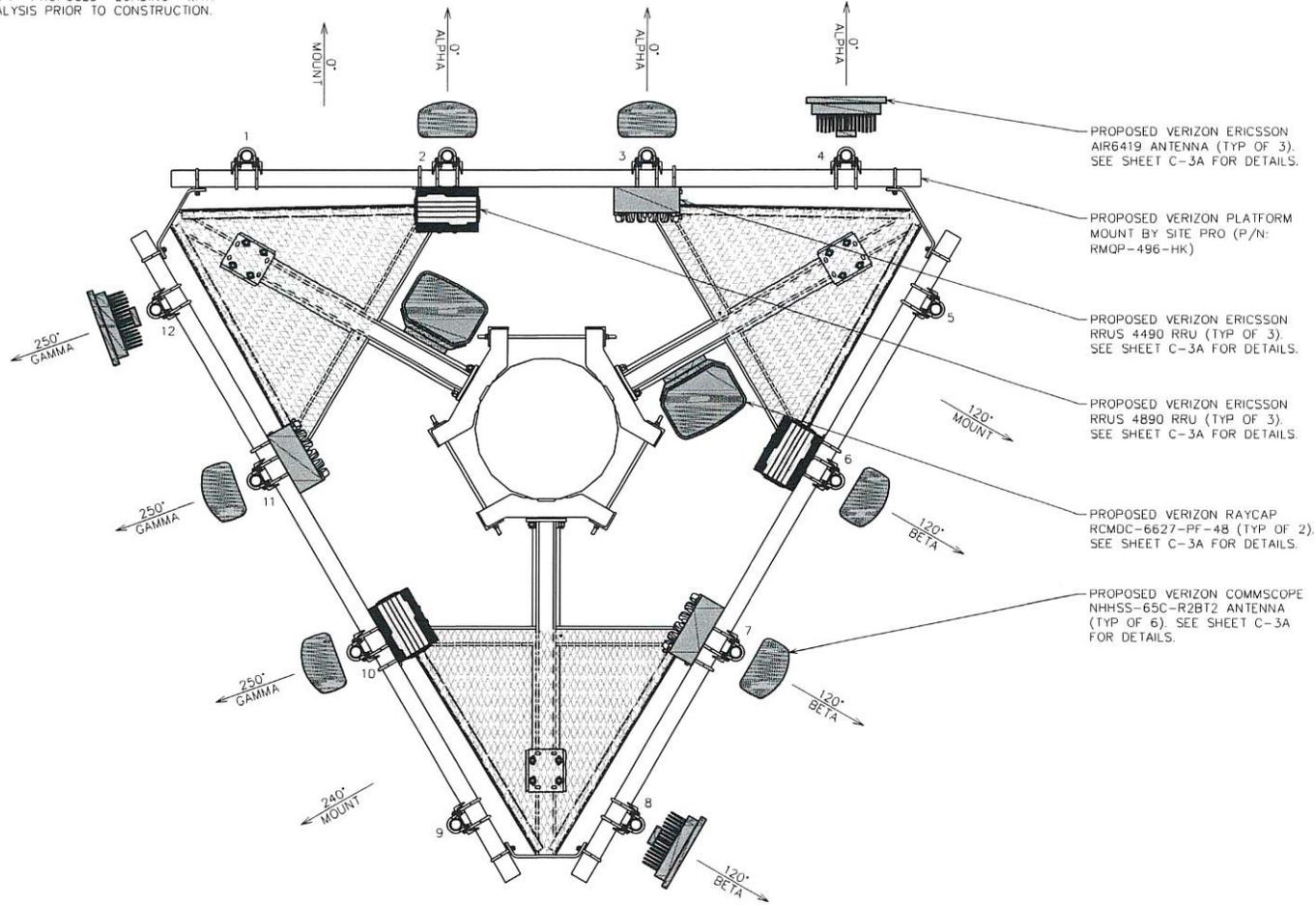
TEP#: 314699_740061

ANTENNA & COAX SCHEDULE @ 190'-0"

SCALE: N.T.S.

NOTES:

1. TEP DID NOT ANALYZE MOUNT TO DETERMINE ADEQUATE STRUCTURAL CAPACITY FOR ANY VERIZON LOADING.
2. SEE SHEET C-3A FOR PROPOSED ANTENNA SCHEDULE.
3. CONTRACTOR TO VERIFY PROPOSED LOADING WITH TOWER STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION.



PLANS PREPARED FOR:



4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

PROJECT INFORMATION:

VZW SITE #: 722759
VZW SITE NAME:
ICHETUCKNEE SPRINGS
COUNTY ROAD 137 AND US HIGHWAY 27
BRANFORD, FL 32008
(SUWANNEE COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS



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RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net
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SEAL:



1	05-18-23	CORE REVISION
0	04-17-23	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: CR CHECKED BY: JHJ

SHEET TITLE:
PROPOSED ANTENNA LAYOUT

SHEET NUMBER: C-3B	REVISION: 1
TEP#: 214659740261	

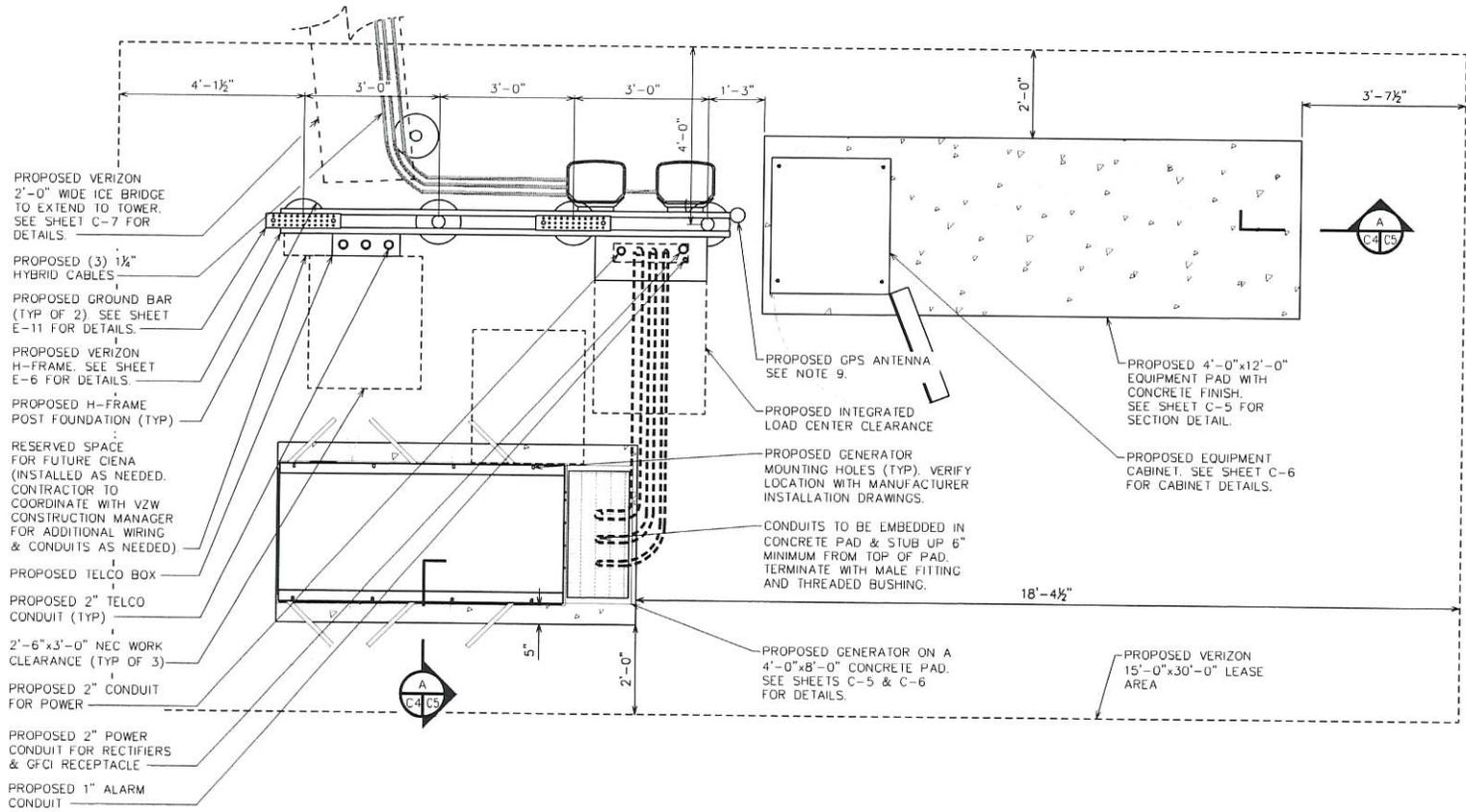
PROPOSED ANTENNA LAYOUT @ 190'-0"

SCALE: 1/2" = 1'-0"



ROUTING NOTES:

- REFER TO THE SITE PLAN FOR EQUIPMENT PLATFORM LOCATIONS AND ORIENTATION.
- RUN 2" TELCO CONDUIT FROM BOTTOM OF TELCO BOX TO SIDE OF RF CABINET WITH CHASE NIPPLE THROUGH FACTORY KNOCKOUT.
- RUN 2" POWER CONDUIT AND 1" ALARM CONDUIT FROM BOTTOM OF ILC TO SIDE OF RF CABINET WITH CHASE NIPPLES THROUGH FACTORY KNOCKOUTS.
- RUN 2" FIBER CONDUIT FROM BOTTOM OF RAYCAP TO SIDE OF RF CABINET WITH CHASE NIPPLE THROUGH FACTORY KNOCKOUT.
- RUN (1)-1½" POWER CONDUIT FOR EVERY (6) RRU CIRCUITS FROM BOTTOM OF RAYCAP TO SIDE OF RF CABINET WITH CHASE NIPPLE THROUGH FACTORY KNOCKOUT.
- SUPPORT CONDUIT ON HORIZONTAL H-FRAME RAILS OR ON VERTICAL SITE STRUT SNT10 RAILS ADDED TO H-FRAME FOR CONDUIT/CABLE MANAGEMENT.
- RUN HYBRID CABLES FOR TOWER MOUNTED RRU's OVERHEAD ON TRAPEZE SUSPENDED FROM WAVE GUIDE BRIDGE. SWEEP DOWN ONTO H-FRAME RAILS, THEN LOOP UNDER RAYCAPS AND CONNECT TO BOTTOM OF RAYCAPS. ATTACH GROUND KITS TO HYBRID CABLES BEFORE LOOPING UNDER RAYCAP, AND BOND TO TDSGA GROUND BAR AT BASE OF H-FRAME.
- RUN COAX CABLE FOR GROUND MOUNTED RRU's (IF ANY) OVERHEAD ON TRAPEZE SUSPENDED FROM WAVEGUIDE BRIDGE. TERMINATE COAX ON ICE BRIDGE AND TRANSITION TO JUMPERS JUST BEFORE REACHING H-FRAME. ATTACH GROUND KITS TO COAX CABLE ON TOWER SIDE OF LAST ICE BRIDGE POST AND BOND TO TDSGA GROUND BAR NEAR TOP OF POST.
- GPS ANTENNA TO BE MOUNTED TO STANDARD HEIGHT POST WITH EXTENDED MOUNTING PIPE, USING COMMSCOPE GPS-U MOUNTING KIT. MOUNT AS NEAR AS PRACTICAL TO RBAB4 CABINET.
- BOLT CABINETS TO SLAB USING ½"x3¼" KWIK BOLT 3 BY HILTI OR APPROVED EQUIVALENT.
- BOLT GENERATOR TO SLAB PER MANUFACTURERS SPECIFICATIONS.



EQUIPMENT LAYOUT

SCALE: 3/8" = 1'-0"



PLANS PREPARED FOR:

verizon

4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

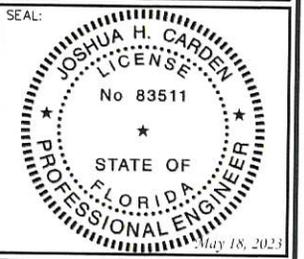
PROJECT INFORMATION:

VZW SITE #: 722759
VZW SITE NAME:
ICHETUCKNEE SPRINGS
COUNTY ROAD 137 AND US HIGHWAY 27
BRANFORD, FL 32008
(SUWANNEE COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net
FL COA # 31011

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1	05-18-23	COORDINATOR
0	04-17-23	PRELIMINARY
REV	DATE	ISSUED FOR:
DRAWN BY: CL		CHECKED BY: JHC

SHEET TITLE:

EQUIPMENT LAYOUT

SHEET NUMBER:	REVISION:
C-4	1
TEP#: 314699 / 240266	

FOUNDATION NOTES:

- 1 FOUNDATION DESIGN BASED ON 2,000 PSF SOIL BEARING CAPACITY.
- 2 CONCRETE SHALL BE MIN. 4,000 PSI AFTER 28 DAYS
- 3 REINFORCING STEEL $F_y = 60,000$ PSI
- 4 ALL BACKFILL SHALL BE THOROUGHLY COMPACTED TO A MINIMUM OF 95% DENSITY USING THE MODIFIED PROCTOR METHOD.
- 5 SURFACE OF FINISHED SLAB SHALL BE LEVEL AND FLAT WITHIN 1/4".
- 6 CONTRACTOR SHALL VERIFY WITH MANUFACTURER ACTUAL DIMENSIONS OF CABINET PRIOR TO LAYING OUT FOUNDATION.
- 7 MAXIMUM SIZE OF CONCRETE AGGREGATE SHALL NOT EXCEED 1 INCH; SIZE SUITABLE FOR INSTALLATION METHOD UTILIZED; OR ONE-THIRD CLEAR DISTANCE BEHIND OR BETWEEN REINFORCING.
- 8 REINFORCEMENT SHALL BE DEFORMED AND CONFORM TO THE REQUIREMENTS OF ASTM A615 GRADE 60 UNLESS OTHERWISE NOTED.
- 9 WELDING IS PROHIBITED ON REINFORCING STEEL AND EMBEDMENTS.
- 10 MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE 3 INCHES UNLESS OTHERWISE NOTED.
- 11 CONCRETE COVER FROM TOP OF FOUNDATION TO ENDS OF VERTICAL REINFORCEMENT SHALL BE 3 INCHES MINIMUM.
- 12 FOUNDATION DESIGN ASSUMES FIELD INSPECTIONS WILL BE PERFORMED TO VERIFY THAT CONSTRUCTION MATERIALS, INSTALLATION METHODS, AND ASSUMED DESIGN PARAMETERS ARE ACCEPTABLE BASED ON CONDITIONS EXISTING AT THE SITE.
- 13 FOUNDATION DESIGN ASSUMED CONTINUOUS CONCRETE PLACEMENT WITHOUT CONSTRUCTION JOINTS.
- 14 WELDED WIRE FABRIC SHALL BE SUPPLIED IN FLAT SHEETS (NOT ROLLED).
- 15 TEST CYLINDERS SHALL BE MOLDED AND LABORATORY CURED IN ACCORDANCE WITH ASTM C31. THREE CYLINDERS SHALL BE TAKEN FROM EACH DAY'S CONCRETE PLACEMENT. CYLINDERS SHALL BE TESTED IN ACCORDANCE WITH ASTM C39.
- 16 TOPS OF CONCRETE FOUNDATION MUST BE WITHIN 0.02" OF ELEVATION SPECIFIED BY THE CUSTOMER.

GENERAL STRUCTURAL NOTES:

SPECIFICATIONS / CODES:

1. ALL CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH LATEST EDITION OF THE ACI CODE.
2. REINFORCING STEEL SHALL BE PLACED IN ACCORDANCE WITH THE CONCRETE REINFORCING STEEL INSTITUTE (CRSI), "MANUAL OF STANDARD PRACTICE".

PLANS PREPARED FOR:

verizon
 4700 EXCHANGE COURT, SUITE 100
 BOCA RATON, FL 33431
 (561) 995-5539

PROJECT INFORMATION:

VZW SITE #: 722759
VZW SITE NAME:
ICHETUCKNEE SPRINGS
 COUNTY ROAD 137 AND US HIGHWAY 27
 BRANFORD, FL 32008
 (SUWANNEE COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
 326 TRYON ROAD
 RALEIGH, NC 27603-3530
 OFFICE: (919) 661-6351
 www.tepgroup.net
 FL COA # 31011

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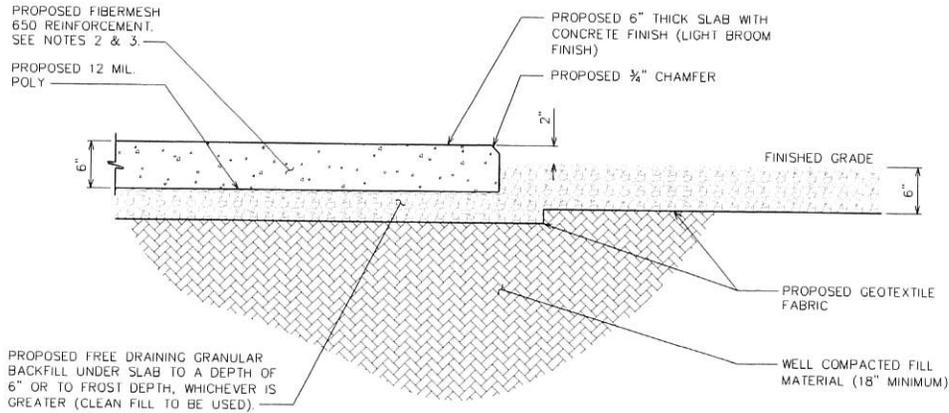
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FOUNDATION NOTES

SCALE: N.T.S.

NOTES:

1. FROST DEPTH FOR JURISDICTION IS 0 INCHES.
2. APPLICATION RATE OF FIBERS SHALL BE DETERMINED BY THE READY MIX CONCRETE SUPPLIER.
3. THE CONCRETE SUPPLIER SHALL FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS FOR FIBERMESH APPLICATION INCLUDING THE MINIMUM APPLICATION RATE OF 3 LBS/YD³.



EQUIPMENT FOUNDATION SECTION VIEW

SCALE: N.T.S.



SEAL:



1	05-18-23	CONSTRUCTION
0	04-17-23	PRELIMINARY
REV	DATE	ISSUED FOR:

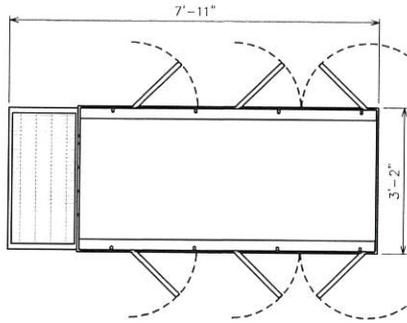
DRAWN BY: CJ CHECKED BY: JHJ

SHEET TITLE:
FOUNDATION NOTES & DETAILS

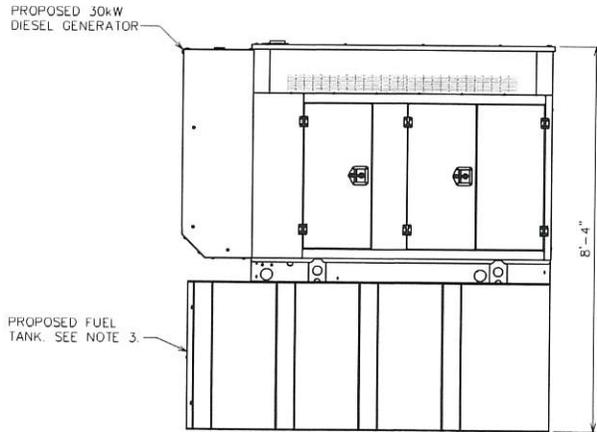
SHEET NUMBER: C-5	REVISION: 1
TEP#: 314699 / 0061	

NOTES:

1. 30kW INDUSTRIAL DIESEL GENERATOR BY GENERAC INDUSTRIAL POWER (P/N: SD030). CONTRACTOR TO VERIFY DIMENSIONS WITH MANUFACTURER.
2. ANCHOR GENERATOR FUEL TANK TO CONCRETE PAD/PLATFORM PER MANUFACTURER'S SPECIFICATIONS.
3. BASE TANK SIZE SHALL BE 300 GALLON. CONTRACTOR TO VERIFY SIZE WITH CONSTRUCTION MANAGER BEFORE ORDERING OR INSTALLING THE GENERATOR.



PLAN VIEW



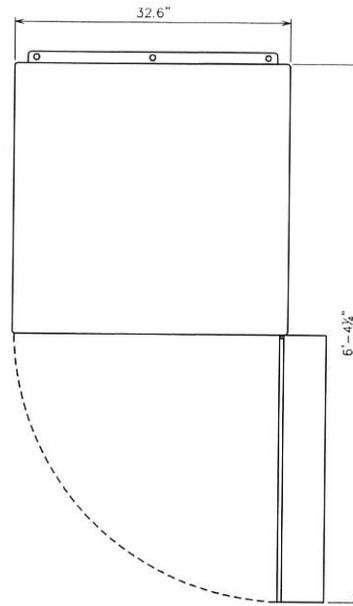
ELEVATION VIEW

GENERATOR DETAILS

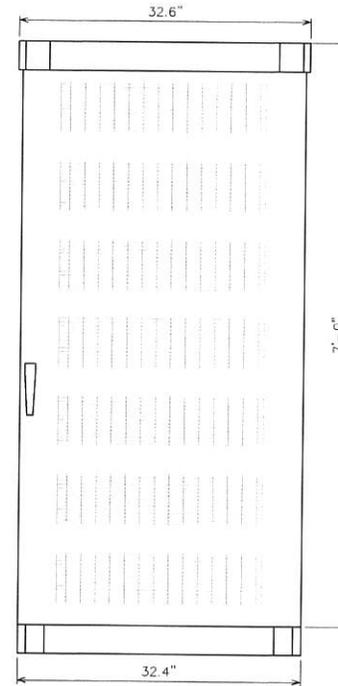
SCALE: N.T.S.

NOTES:

1. MOUNT USING 1/2"x3/4" KWIK BOLT 3 BY HILTI OR APPROVED EQUIVALENT.
2. DIMENSIONS SHOWN INCLUDE OUTDOOR ENCLOSURES.
3. CABINET WILL BE MOUNTED ON A 12" PLINTH FOR A TOTAL HEIGHT OF 8'-0".



PLAN VIEW



FRONT VIEW

RBA84 CABINET DETAILS

SCALE: N.T.S.

PLANS PREPARED FOR:



4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

PROJECT INFORMATION:

VZW SITE #: 722759
VZW SITE NAME:
ICHETUCKNEE SPRINGS
COUNTY ROAD 137 AND US HIGHWAY 27
BRANFORD, FL 32008
(SUWANNEE COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net
FL COA # 31011

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SEAL:



1	05-18-23	CONSTRUCTION
0	04-17-23	PRELIMINARY
REV	DATE	ISSUED FOR:

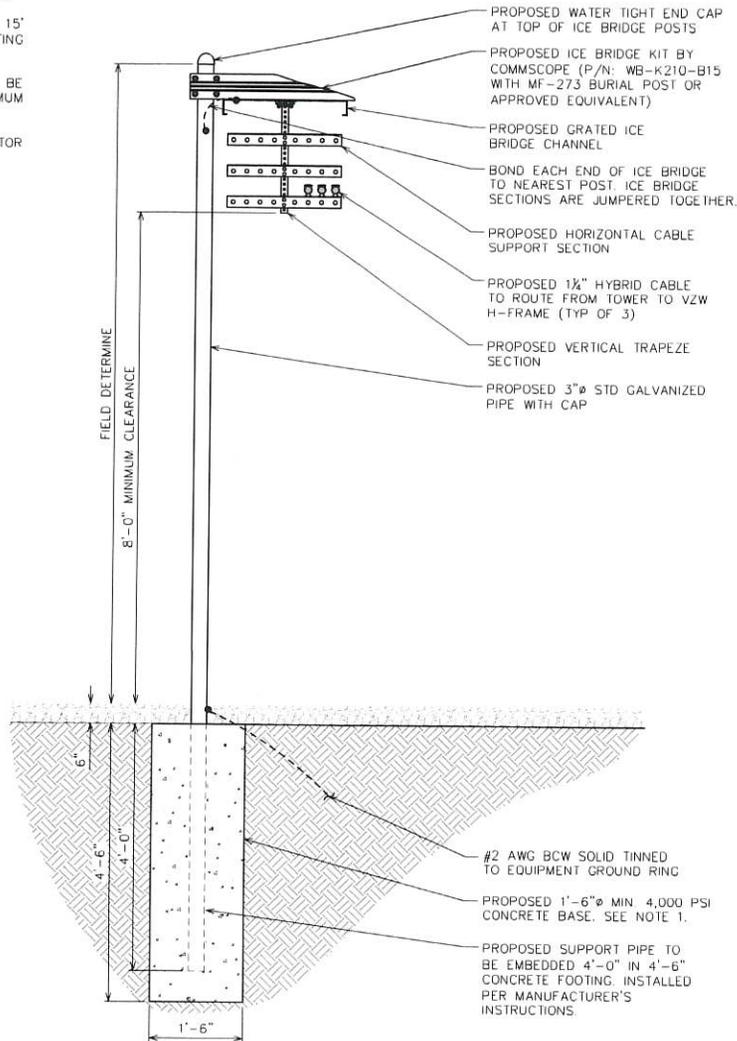
DRAWN BY: JH CHECKED BY: JH

SHEET TITLE:
GENERATOR & EQUIPMENT CABINET DETAILS

SHEET NUMBER: C-6	REVISION: 1
TEP#: 3140399 2/4/2021	

NOTES:

1. TOP OF ICE BRIDGE POST FOUNDATION SHALL BE SET 6" BELOW TOP OF GRAVEL.
2. ADJUST POST FOOTING DEPTH WITHIN 15' OF TOWER TO ACCOMMODATE EXISTING TOWER FOUNDATION
3. HEIGHT TO TOP OF ICE BRIDGE WILL BE FIELD VERIFIED, BUT WILL BE MAXIMUM 10'-10" ABOVE TOP OF GRAVEL.
4. ALL MATERIALS FURNISHED BY CONTRACTOR UNLESS OTHERWISE NOTED.



ICE BRIDGE DETAIL

SCALE: 1/8" = 1'-0"



WAVEGUIDE DETAIL (NOT NEEDED)

SCALE: N.T.S.

PLANS PREPARED FOR:

verizon
 4700 EXCHANGE COURT, SUITE 100
 BOCA RATON, FL 33431
 (561) 995-5539

PROJECT INFORMATION:

VZW SITE #: 722759
VZW SITE NAME:
ICHETUCKNEE SPRINGS
 COUNTY ROAD 137 AND US HIGHWAY 27
 BRANFORD, FL 32008
 (SUWANNEE COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
 326 TRYON ROAD
 RALEIGH, NC 27603-3530
 OFFICE: (919) 661-6351
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 FL COA # 31011

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SEAL:

 JOSHUA H. GARDEN
 LICENSE
 No 83511
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 May 18, 2023

1	05-18-23	CONSTRUCTION
0	04-17-23	PRELIMINARY
REV	DATE	ISSUED FOR:

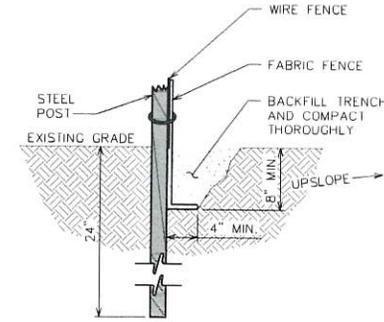
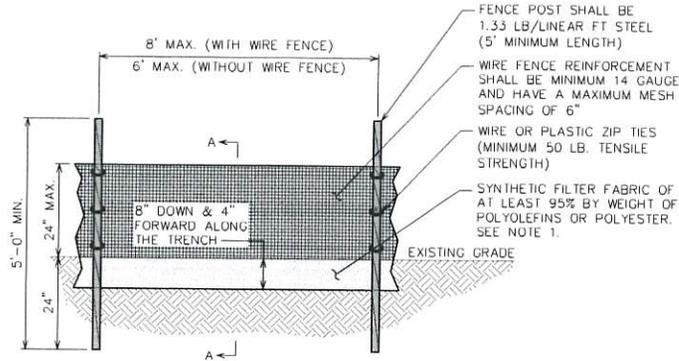
DRAWN BY: *CF* CHECKED BY: *PH*

SHEET TITLE:
ICE BRIDGE & WAVEGUIDE DETAILS

SHEET NUMBER: C-7	REVISION: 1 TEP#: 3146399 / 4/20/23
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NOTES:

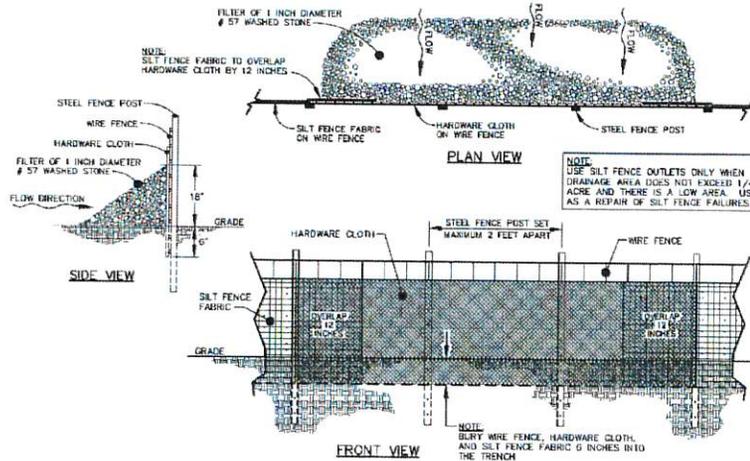
1. FILTER FABRIC SHALL CONFORM TO THE REQUIREMENTS LISTED IN ASTM D 6461.
2. ENDS OF INDIVIDUAL FILTER FABRIC SHALL BE SECURELY FASTENED AT A SUPPORT POST WITH 4 FEET MINIMUM OVERLAP TO THE NEXT POST.
3. PACE 12 INCHES OF FABRIC ALONG THE BOTTOM AND SIDE OF THE TRENCH.
4. INSPECT SEDIMENT FENCE(S) AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL.
5. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE.
6. AFTER CONSTRUCTION IS COMPLETE, THE CONTRACTOR SHALL REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE AND PROPERLY STABILIZE THE SITE.



SECTION A-A

SILT FENCE DETAIL

SCALE: N.T.S.



STANDARD SILT FENCE OUTLET DETAIL

SCALE: N.T.S.

PLANS PREPARED FOR:

verizon
 4700 EXCHANGE COURT, SUITE 100
 BOCA RATON, FL 33431
 (561) 995-5539

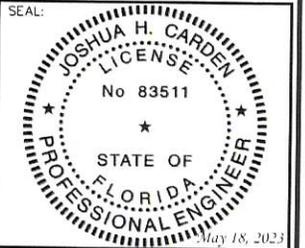
PROJECT INFORMATION:

VZW SITE #: 722759
VZW SITE NAME:
ICHETUCKNEE SPRINGS
 COUNTY ROAD 137 AND US HIGHWAY 27
 BRANFORD, FL 32008
 (SUWANNEE COUNTY)

PLANS PREPARED BY:

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 326 TRYON ROAD
 RALEIGH, NC 27603-3530
 OFFICE: (919) 661-6351
 www.tepgroup.net
 FL COA # 31011

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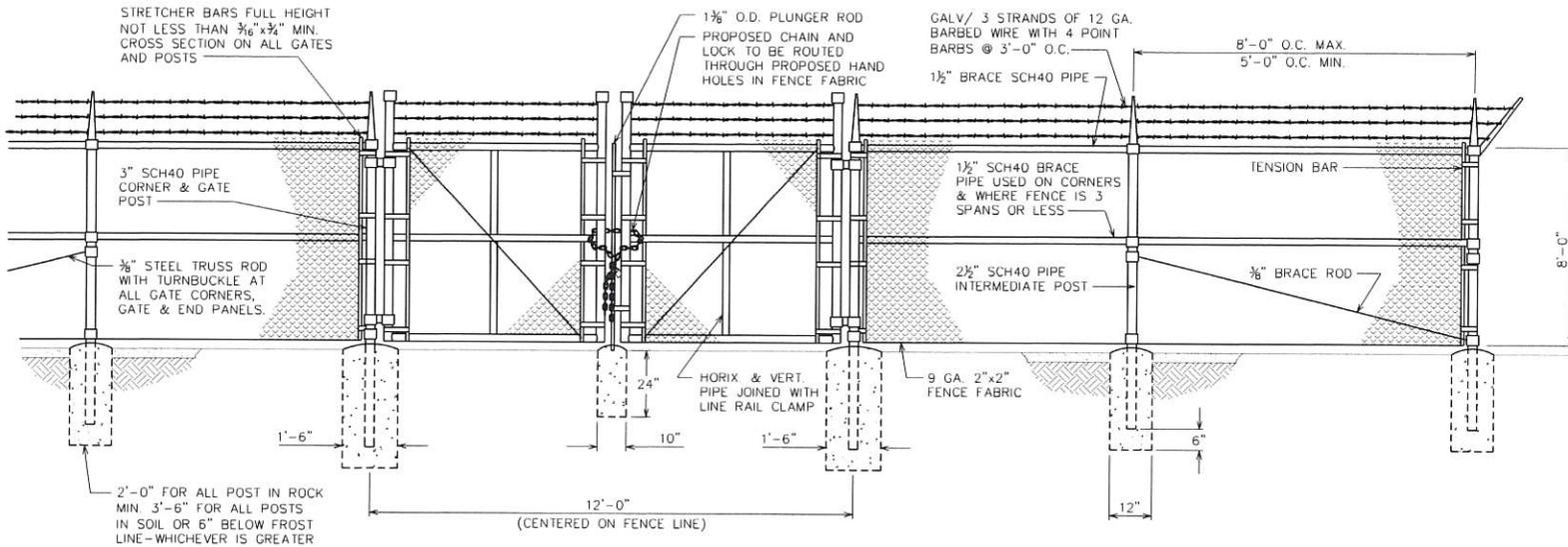


1	05-18-23	CONSTRUCTION
0	04-17-23	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: *CT* CHECKED BY: *BTJ*

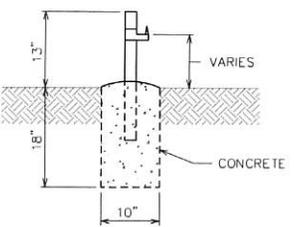
SHEET TITLE:
SILT FENCE DETAILS

SHEET NUMBER: **C-8** REVISION: **1**
 TEP#314099-141061



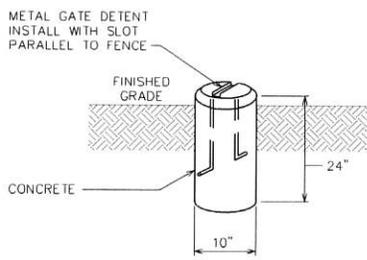
TYPICAL FENCE ELEVATION

SCALE: N.T.S.



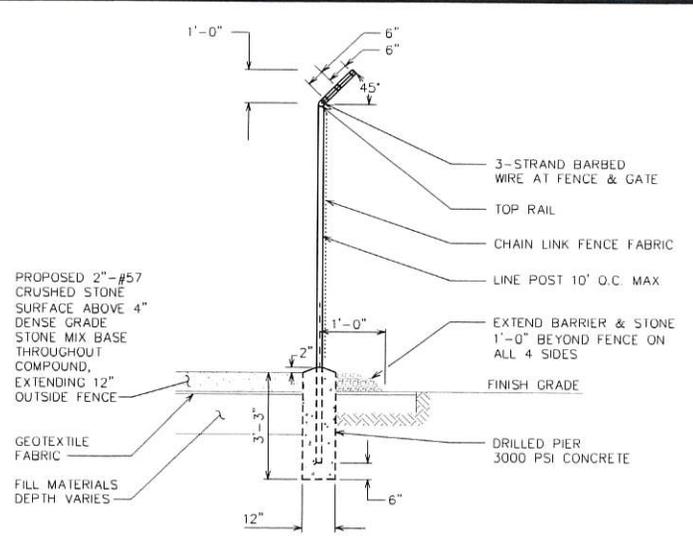
GATE STOP/KEEPER DETAIL

SCALE: N.T.S.



GATE DETENT DETAIL

SCALE: N.T.S.



FENCE/BARBED WIRE ARM DETAIL

SCALE: N.T.S.

PLANS PREPARED FOR:



4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

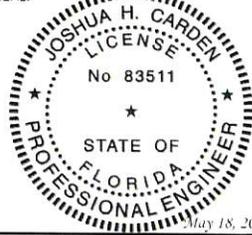
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SEAL:



I	05-18-23	CONSTRUCTION
D	04-17-23	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: CT CHECKED BY: JH

SHEET TITLE:
FENCE DETAILS

SHEET NUMBER: **C-9** REVISION: **1**
TEP#: 314099 / 40061

NOTES:

1. SIGNS SHALL BE MADE OF ALUMINUM WITH 1/4" HOLES 1/2" FROM EACH CORNER TO HANG SIGNS ON FENCE.
2. SIGNS SHALL BE INSTALLED AS FOLLOWS: GATE: VERIZON AND FCC TOWER REGISTRATION NUMBER, NO TRESPASSING, RF WARNING SIGN. FENCE FACING ACCESS DRIVE: E911 STREET NUMBER SIGN.
3. SIGNS SHALL BE INSTALLED WITH CENTER AT 5' ABOVE FINISHED GRADE.



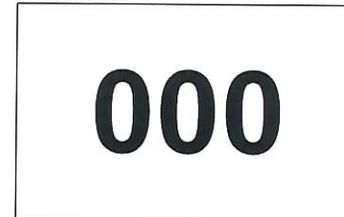
① VERIZON AND FCC REGISTRATION SIGN
 SIZE: 12"X 24" (0.063" ALUMINUM)
 (TO BE MOUNTED ON GATE)



② NO TRESPASSING SIGN
 SIZE: 18"X 24"
 (TO BE MOUNTED ON GATE)



③ RF WARNING SIGN
 SIZE: 18"X 12" (0.040" ALUMINUM)
 (TO BE MOUNTED ON GATE)



④ E911 STREET #
 LETTERS MUST BE A MINIMUM 5" TALL
 (TO BE MOUNTED ON THE FENCE FACING THE ACCESS DRIVE)

TYPICAL SIGNS AND SPECIFICATIONS

SCALE: N.T.S.

PLANS PREPARED FOR:



4700 EXCHANGE COURT, SUITE 100
 BOCA RATON, FL 33431
 (561) 995-5539

PROJECT INFORMATION:

VZW SITE #: 722759
VZW SITE NAME:
ICHETUCKNEE SPRINGS
 COUNTY ROAD 137 AND US HIGHWAY 27
 BRANFORD, FL 32008
 (SUWANNEE COUNTY)

PLANS PREPARED BY:

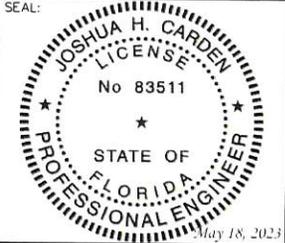
TOWER ENGINEERING PROFESSIONALS

326 TRYON ROAD
 RALEIGH, NC 27603-3530
 OFFICE: (919) 661-6351
 www.tepgroup.net
 FL COA # 31011

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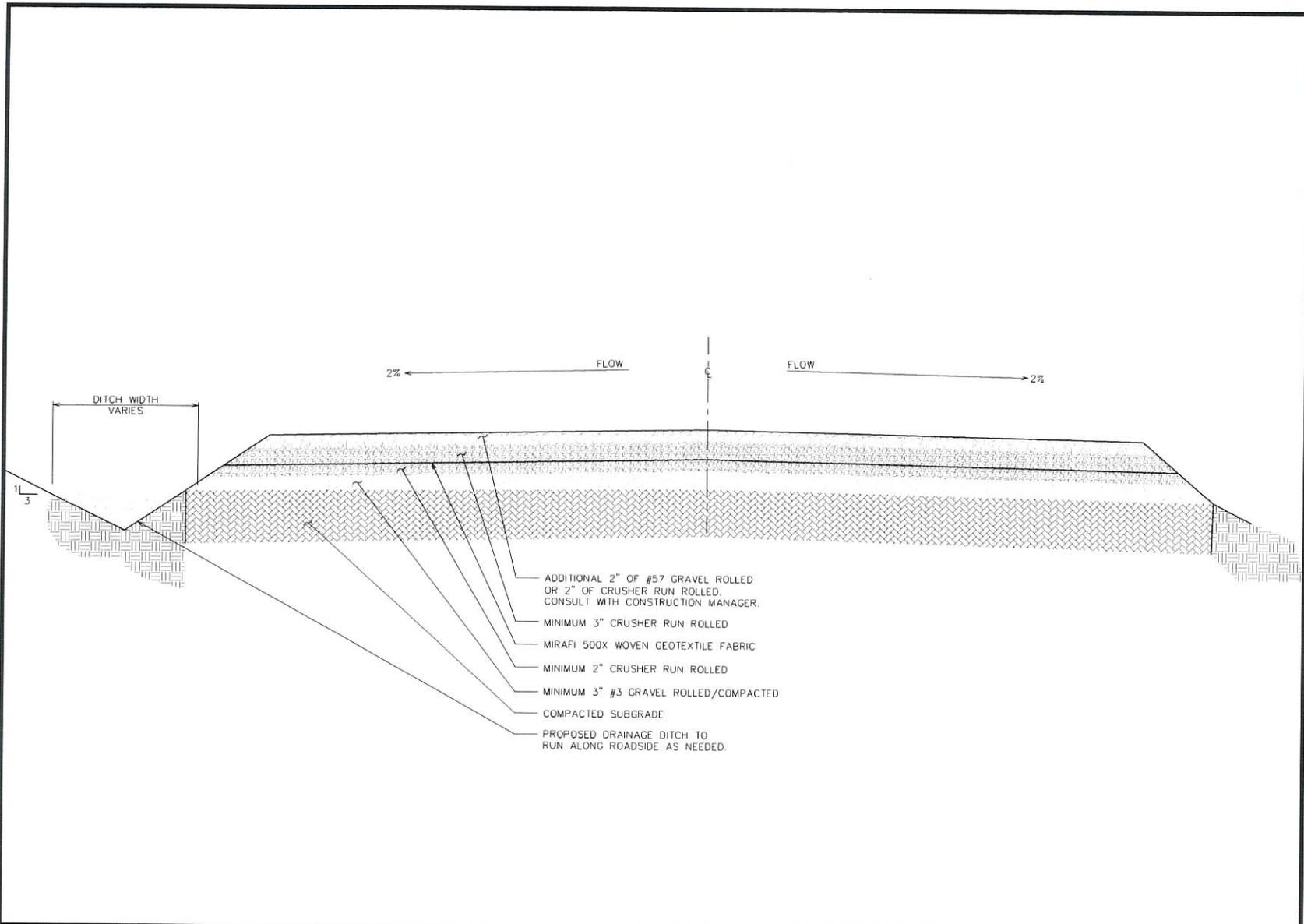


1	05-18-23	CONSTRUCTION
0	04-11-23	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: [initials] CHECKED BY: [initials]

SHEET TITLE:
**SIGNAGE
 DETAILS**

SHEET NUMBER: C-9A	REVISION: 1
TEP#: 314599-740266	



STANDARD ROAD SECTION

SCALE: N.T.S.

PLANS PREPARED FOR:



4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

PROJECT INFORMATION:

VZW SITE #: 722759
VZW SITE NAME:
ICHETUCKNEE SPRINGS

COUNTY ROAD 137 AND US HIGHWAY 27
BRANFORD, FL 32008
(SUWANNEE COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net
FL COA # 31011

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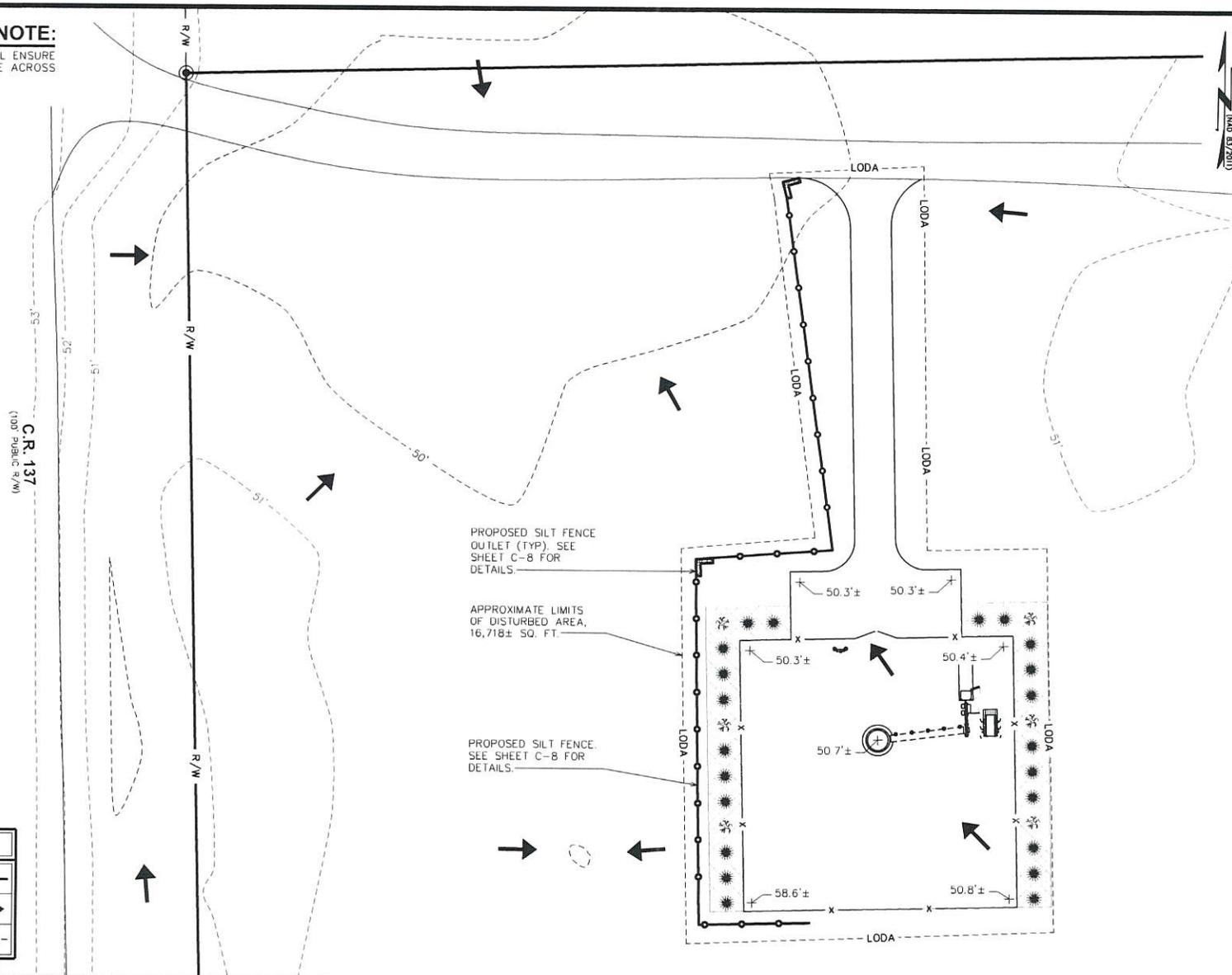
DRAWN BY: J.P. CHECKED BY: J.H.G.

SHEET TITLE:
ACCESS ROAD DETAILS

SHEET NUMBER:	REVISION:
C-10	1
TEP#: 3146599 / 405061	

GRADING NOTE:

CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE ACROSS COMPOUND.



PROPOSED SILT FENCE OUTLET (TYP). SEE SHEET C-8 FOR DETAILS.

APPROXIMATE LIMITS OF DISTURBED AREA, 16,718± SQ. FT.

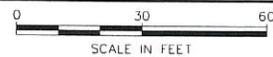
PROPOSED SILT FENCE. SEE SHEET C-8 FOR DETAILS.

LEGEND

SILT FENCE	
FLOW DIRECTION	
LODA	-LODA-

DRAINAGE & EROSION CONTROL PLAN

SCALE: 1" = 30'



PLANS PREPARED FOR:

verizon

4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

PROJECT INFORMATION:

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BRANFORD, FL 32008
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PLANS PREPARED BY:

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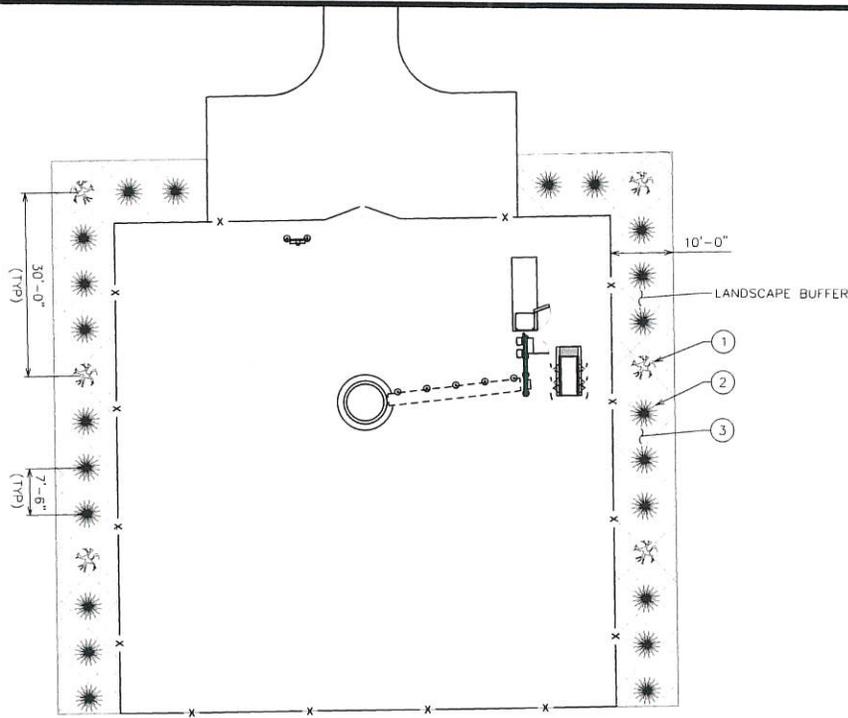
DRAWN BY: GF CHECKED BY: JPH

SHEET TITLE:
DRAINAGE & EROSION CONTROL PLAN

SHEET NUMBER: C-11	REVISION: 1
TEP#: 314099740061	

NOTE:

SEE SHEET L-2 FOR LANDSCAPE DETAILS.



PLANS PREPARED FOR:



4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

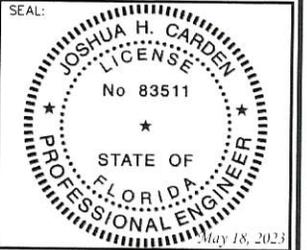
PROJECT INFORMATION:

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COUNTY ROAD 137 AND US HIGHWAY 27
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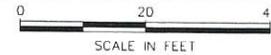
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LANDSCAPE PLAN

SCALE: 1" = 20'



PLANTING SCHEDULE

ITEM	QTY.	BOTANICAL NAME	COMMON NAME	SPACING	HEIGHT @ PLANTING	REMARKS
TREES						
①	6	<i>(Pinus Palustris)</i>	LONG LEAF PINE	SEE PLAN	8'-0" (MIN)	SHOWN AS
SHRUBS						
②	22	<i>(Walters Viburnum/Viburnum Obovatum)</i>	SOUTHERN RED CEDAR	SEE PLAN	2'-0" (MIN)	SHOWN AS
MULCH						
③	-	-	MULCH	-	-	APPLY 3"-4" DEEP AROUND NEW PLANTINGS. SEE SHEET L-2 FOR LANDSCAPE DETAILS.

I	05-16-23	CORE DRAFTING
D	04-17-23	PRELIMINARY
REV	DATE	ISSUED FOR:

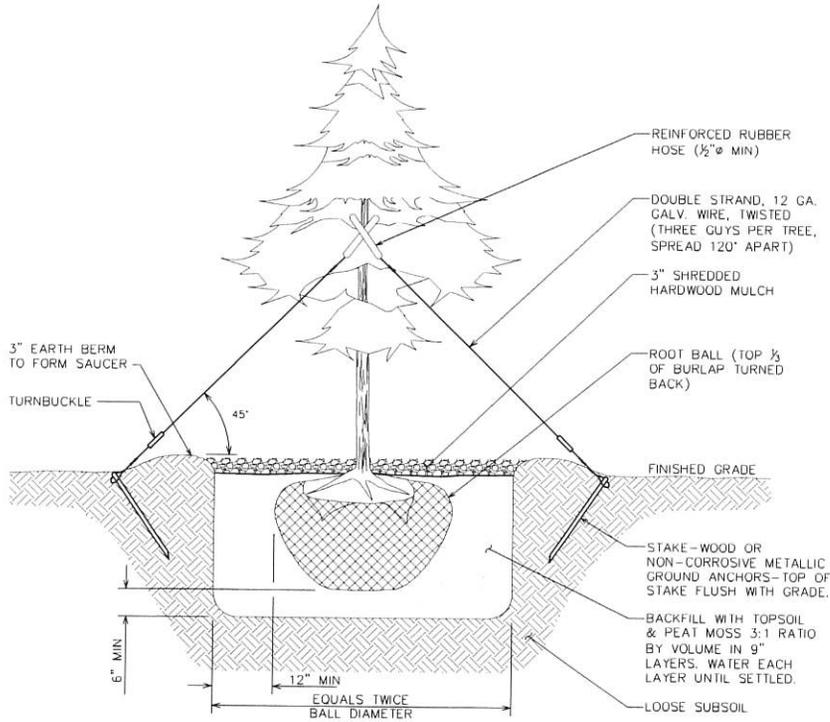
DRAWN BY: CP CHECKED BY: JH

SHEET TITLE:
LANDSCAPE PLAN

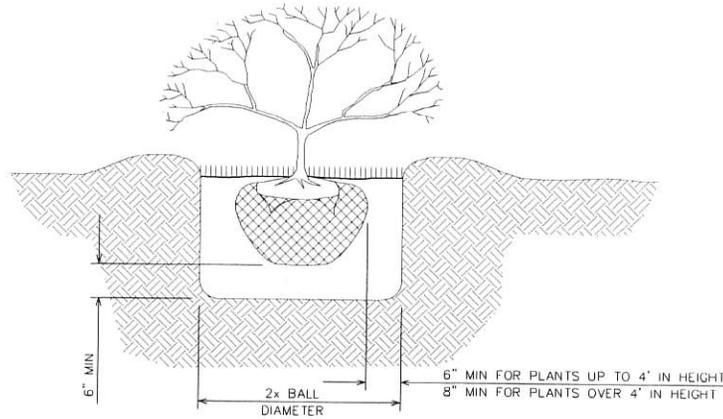
SHEET NUMBER: **L-1** REVISION: **1**
TEP#: 314099 / 40061

NOTE:

SEE SHEET L-1 FOR
LANDSCAPE PLAN.



TREE PLANTING DETAIL



SHRUB PLANTING DETAIL

LANDSCAPE DETAILS

SCALE: N.T.S.

PLANS PREPARED FOR:

verizon

4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

PROJECT INFORMATION:

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COUNTY ROAD 137 AND US HIGHWAY 27
BRANFORD, FL 32008
(SUWANNEE COUNTY)

PLANS PREPARED BY:

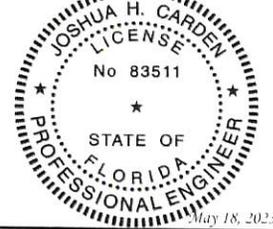
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SEAL:



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DRAWN BY: CT CHECKED BY: JHJ

SHEET TITLE:

**LANDSCAPE
DETAILS**

SHEET NUMBER:	REVISION:
L-2	1
TEP#: 31-40277-740061	

ELECTRICAL NOTES:

SCOPE:

1. PROVIDE LABOR, MATERIALS, INSPECTION, AND TESTING TO PROVIDE CODE COMPLIANCE FOR ELECTRIC, TELEPHONE, AND GROUNDING/LIGHTNING SYSTEMS.

CODES:

1. THE INSTALLATION SHALL COMPLY WITH APPLICABLE LAWS AND CODES. THESE INCLUDE BUT ARE NOT LIMITED TO THE LATEST ADOPTED EDITIONS OF:

A. THE NATIONAL ELECTRICAL SAFETY CODE	D. LOCAL AND STATE AMENDMENTS
B. THE NATIONAL ELECTRIC CODE – NFPA-70	E. THE INTERNATIONAL ELECTRIC CODE –
C. REGULATIONS OF THE SERVING UTILITY COMPANY	IEC (WHERE APPLICABLE)
2. PERMITS REQUIRED SHALL BE OBTAINED BY THE CONTRACTOR.

3. AFTER COMPLETION AND FINAL INSPECTION OF THE WORK, THE OWNER SHALL BE FURNISHED A CERTIFICATE OF COMPLETION AND APPROVAL.

TESTING:

1. UPON COMPLETION OF THE INSTALLATION, OPERATE AND ADJUST THE EQUIPMENT AND SYSTEMS TO MEET SPECIFIED PERFORMANCE REQUIREMENTS. THE TESTING SHALL BE DONE BY QUALIFIED PERSONNEL.

GUARANTEE:

1. IN ADDITION TO THE GUARANTEE OF THE EQUIPMENT BY THE MANUFACTURER, EACH PIECE OF EQUIPMENT SPECIFIED HEREIN SHALL ALSO BE GUARANTEED FOR DEFECTS OF MATERIAL OR WORKMANSHIP OCCURRING DURING A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE OF THE WORK BY THE OWNER AND WITHOUT EXPENSE TO THE OWNER.
2. THE WARRANTIES CERTIFICATES & GUARANTEES FURNISHED BY THE MANUFACTURERS SHALL BE TURNED OVER TO THE OWNER.

UTILITY CO-ORDINATION:

1. CONTRACTOR SHALL COORDINATE WORK WITH THE POWER AND TELEPHONE COMPANIES AND SHALL COMPLY WITH THE SERVICE REQUIREMENTS OF EACH UTILITY COMPANY.

EXAMINATION OF SITE:

1. PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL VISIT THE SITE OF THE JOB AND SHALL FAMILIARIZE HIMSELF WITH THE CONDITIONS AFFECTING THE PROPOSED ELECTRICAL INSTALLATION AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. FAILURE TO COMPLY WITH THE INTENT OF THIS SECTION WILL IN NO WAY RELIEVE THE CONTRACTOR OF PERFORMING THE WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM OR SYSTEMS.

CUTTING, PATCHING AND EXCAVATION:

1. COORDINATION OF SLEEVES, CHASES, ETC., BETWEEN SUBCONTRACTORS WILL BE REQUIRED PRIOR TO THE CONSTRUCTION OF ANY PORTION OF THE WORK. CUTTING AND PATCHING OF WALLS, PARTITIONS, FLOORS, AND CHASES IN CONCRETE, WOOD, STEEL OR MASONRY SHALL BE DONE AS PROVIDED ON THE DRAWINGS.
2. NECESSARY EXCAVATIONS AND BACKFILLING INCIDENTAL TO THE ELECTRICAL WORK SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWING.
3. SEAL PENETRATIONS THROUGH RATED WALLS, FLOORS, ETC., WITH APPROVED METHOD AS LISTED BY UL.

RACEWAYS / CONDUITS GENERAL:

1. CONDUITS SHALL BE INSTALLED IN LISTED RACEWAYS. CONDUIT SHALL BE RIGID STEEL, EMT, SCH40 PVC, OR SCH80PVC AS INDICATED ON THE DRAWINGS. THE RACEWAY SYSTEM SHALL BE COMPLETE BEFORE INSTALLING CONDUITS.
2. EXTERIOR RACEWAYS AND GROUNDING SLEEVES SHALL BE SEALED AT POINTS OF ENTRANCE AND EXIT. THE RACEWAY SYSTEM SHALL BE BONDED PER NEC.

EXTERIOR CONDUIT:

1. EXPOSED CONDUIT SHALL BE NEATLY INSTALLED AND RUN PARALLEL OR PERPENDICULAR TO STRUCTURAL ELEMENTS. SUPPORTS AND MOUNTING HARDWARE SHALL BE HOT DIPPED GALVANIZED STEEL.
2. THE CONDUIT SHALL BE RIGID STEEL AT GRADE TRANSITIONS OR WHERE EXPOSED TO DAMAGE.
3. UNDERGROUND CONDUITS SHALL BE RIGID STEEL, SCH40 PVC, OR SCH80 PVC AS INDICATED ON THE DRAWINGS.
4. BURIAL DEPTH OF CONDUITS SHALL BE AS REQUIRED BY CODE FOR EACH SPECIFIC CONDUIT TYPE AND APPLICATION, BUT SHALL NOT BE LESS THAN THE FROST DEPTH AT THE SITE.
5. CONDUIT ROUTES ARE SCHEMATIC. CONTRACTOR SHALL FIELD VERIFY ROUTES BEFORE BID. COORDINATE ROUTE WITH WIRELESS CARRIER AND/OR BUILDING OWNER.

INTERIOR CONDUIT:

1. CONCEALED CONDUIT IN WALLS OR INTERIOR SPACES ABOVE GRADE MAY BE EMT OR PVC.
2. CONDUIT RUNS SHALL USE APPROVED COUPLINGS AND CONNECTORS. PROVIDE INSULATED BUSHING FOR ALL CONDUIT TERMINATIONS. CONDUIT RUNS IN A WET LOCATION SHALL HAVE WATERPROOF FITTINGS.
3. PROVIDE SUPPORTS FOR CONDUITS IN ACCORDANCE WITH NEC REQUIREMENTS. CONDUITS SHALL BE SIZED AS REQUIRED BY NEC.

EQUIPMENT:

1. DISCONNECT SWITCHES SHALL BE SERVICE ENTRANCE RATED, HEAVY DUTY TYPE.
2. CONTRACTOR SHALL VERIFY MAXIMUM AVAILABLE FAULT CURRENT AND COORDINATE INSTALLATION WITH THE LOCAL UTILITY BEFORE STARTING WORK. CONTRACTOR WILL VERIFY THAT EXISTING CIRCUIT BREAKERS ARE RATED FOR MORE THAN AVAILABLE FAULT CURRENT AND REPLACE AS NECESSARY.
3. NEW CIRCUIT BREAKERS SHALL BE RATED TO WITHSTAND THE MAXIMUM AVAILABLE FAULT CURRENT AS DETERMINED BY THE LOCAL UTILITY.

CONDUCTORS:

1. FURNISH AND INSTALL CONDUCTORS SPECIFIED IN THE DRAWINGS. CONDUCTORS SHALL BE COPPER AND SHALL HAVE TYPE THWN (MIN) (75° C) INSULATION, RATED FOR 600 VOLTS.
2. THE USE OF ALUMINUM CONDUCTORS SHALL BE LIMITED TO THE SERVICE FEEDERS INSTALLED BY THE UTILITY.
3. CONDUCTORS SHALL BE PROVIDED AND INSTALLED AS FOLLOWS:

A. MINIMUM WIRE SIZE SHALL BE #12 AWG.
B. CONDUCTORS SIZE #8 AND LARGER SHALL BE STRANDED. CONDUCTORS SIZED #10 AND #12 MAY BE SOLID OR STRANDED.
C. CONNECTION FOR #10 AWG #12 AWG SHALL BE BY TWISTING TIGHT AND INSTALLING INSULATED PRESSURE OR WIRE NUT CONNECTIONS.
D. CONNECTION FOR #8 AWG AND LARGER SHALL BE BY USE OF STEEL CRIMP-ON SLEEVES WITH NYLON INSULATOR.
3. CONDUCTORS SHALL BE COLOR CODED IN ACCORDANCE WITH NEC STANDARDS.

UL COMPLIANCE:

1. ELECTRICAL MATERIALS, DEVICES, CONDUCTORS, APPLIANCES, AND EQUIPMENT SHALL BE LABELED/LISTED BY UL OR ACCEPTED BY JURISDICTION (I.E., LOCAL COUNTY OR STATE) APPROVED THIRD PARTY TESTING AGENCY.

GROUNDING:

1. ELECTRICAL NEUTRALS, RACEWAYS AND NON-CURRENT CARRYING PARTS OF ELECTRICAL EQUIPMENT AND ASSOCIATED ENCLOSURES SHALL BE GROUNDED IN ACCORDANCE WITH NEC ARTICLE 250. THIS SHALL INCLUDE NEUTRAL CONDUCTORS, CONDUITS, SUPPORTS, CABINETS, BOXES, GROUND BUSES, ETC. THE NEUTRAL CONDUCTOR FOR EACH SYSTEM SHALL BE GROUNDED AT A SINGLE POINT.
2. PROVIDE GROUND CONDUCTOR IN RACEWAYS PER NEC.
3. PROVIDE BONDING AND GROUND TO MEET NFPA 780 – "LIGHTNING PROTECTION" AS A MINIMUM.
4. PROVIDE GROUNDING SYSTEM AS INDICATED ON THE DRAWINGS, AS REQUIRED BY THE NATIONAL ELECTRIC CODE, RADIO EQUIPMENT MANUFACTURERS, AND MOTOROLA R56 (AS APPLICABLE).

ABBREVIATIONS AND LEGEND

A	- AMPERE	PNLBD	- PANELBOARD
AFG	- ABOVE FINISHED GRADE	PVC	- RIGID NON-METALLIC CONDUIT
ATS	- AUTOMATIC TRANSFER SWITCH	RGS	- RIGID GALVANIZED STEEL CONDUIT
AWG	- AMERICAN WIRE GAUGE	SW	- SWITCH
BCW	- BARE COPPER WIRE	TGB	- TOWER GROUND BAR
BFG	- BELOW FINISHED GRADE	UL	- UNDERWRITERS LABORATORIES
BKR	- BREAKER	V	- VOLTAGE
C	- CONDUIT	W	- WATTS
CKT	- CIRCUIT	XFMR	- TRANSFORMER
DISC	- DISCONNECT	XMTR	- TRANSMITTER
EGR	- EXTERNAL GROUND RING		
EMT	- ELECTRIC METALLIC TUBING		
FSC	- FLEXIBLE STEEL CONDUIT		
GEN	- GENERATOR		
GPS	- GLOBAL POSITIONING SYSTEM		
GRD	- GROUND		
IGB	- ISOLATED GROUND BAR		
IGR	- INTERIOR GROUND RING (HALO)		
KW	- KILOWATTS		
NEC	- NATIONAL ELECTRIC CODE		
PCS	- PERSONAL COMMUNICATION SYSTEM		
PH	- PHASE		
PNL	- PANEL		

----	E	----	UNDERGROUND ELECTRICAL CONDUIT
----	T	----	UNDERGROUND TELEPHONE CONDUIT
			⊞ KILOWATT-HOUR METER
-----		-----	UNDERGROUND BONDING AND GROUNDING CONDUCTOR
⊙			GROUND ROD
●			CADWELD
⊞			GROUND ROD WITH INSPECTION WELL

PLANS PREPARED FOR:

verizon

4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

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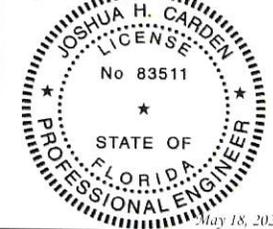
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SEAL:



1	05-18-23	CONTRACTOR
0	04-12-23	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: *CF* CHECKED BY: *BJ*

SHEET TITLE:

**ELECTRICAL
NOTES**

SHEET NUMBER:	REVISION:
E-1	1
TEP#: 214597 / HJG	

NOTES:

1. ALL CONDUCTORS ARE TYPE THWN (75°C) COPPER.
2. MAXIMUM LENGTH OF RUN FOR RECTIFIER CIRCUITS IS 50-FT.
3. INTERSECT/GENERAC INTEGRATED LOAD CENTER INCLUDES 200A MAIN DISCONNECT AND TRANSFER SWITCH FOR PORTABLE OR PERMANENT GENERATOR.
4. RECTIFIER LOADS ARE CONSIDERED TO BE NON-CONTINUOUS.
5. IF ADDITIONAL FUTURE LOADS ARE ADDED WHICH CAUSE TOTAL DEMAND TO EXCEED GENERATOR BREAKER SIZE, BACKUP POWER SYSTEM SHALL BE EVALUATED AND UPGRADED AS NECESSARY.

200A 120/240V 1Ø 3W VERIZON POWER PANEL SCHEDULE

DEMAND FACTOR	LOAD SERVED	UNCOMPENSATED VOLT AMPERES		TRIP	CKT #	PHASE	CKT #	TRIP	UNCOMPENSATED VOLT AMPERES		LOAD SERVED	DEMAND FACTOR
		L1 (VA)	L2 (VA)						L1 (VA)	L2 (VA)		
100%	RECTIFIER #1	1800	1800	30A	1	A	2	30A	1800	1800	FUTURE RECTIFIER #1	100%
					3	B	4					
100%	RECTIFIER #2	1800	1800	30A	5	A	6	30A	1800	1800	FUTURE RECTIFIER #2	100%
					7	B	8					
100%	RECTIFIER #3	1800	1800	30A	9	A	10	30A	1800	1800	FUTURE RECTIFIER #3	100%
					11	B	12					
100%	RECTIFIER #4	1800	1800	30A	13	A	14	-	-	-	SPARE	-
					15	B	16	-	-	-	SPARE	-
125%	GFCI REC. (VZW)/AREA LIGHTS	1200	1200	20A	17	A	18	-	-	-	SPARE	-
125%	GEN. BLOCK HEATER	1200	1200	20A	19	B	20	-	-	-	SPARE	-
125%	GEN. BATTERY CHARGER	500*	500	20A	21	A	22	-	-	-	SPARE	-
-	SPARE	-	-	-	23	B	24	-	-	-	SPARE	-
-	SPARE	-	-	-	25	A	26	-	-	-	SPARE	-
-	SPARE	-	-	-	27	B	28	-	-	-	SPARE	-
-	SPARE	-	-	-	29	A	30	-	-	-	SPARE	-
VOLT AMPS		8900	8400					5400	5400	VOLT AMPS		
L1 VOLT AMPERES		14300		13800		L2 VOLT AMPERES						
L1 DEMAND VOLT AMPERES (INCLUDES DEMAND FACTOR)		14725		14100		L2 DEMAND VOLT AMPERES (INCLUDES DEMAND FACTOR)						
L1 DEMAND AMPS		122.71		117.50		L2 DEMAND AMPS						
		122.71		MAX DEMAND AMPS								

CONNECTED GENERATOR LOAD

VOLT AMPS		8400	8400			5400	5400	VOLT AMPS	
L1 VOLT AMPERES		13800		13800		L2 VOLT AMPERES			
L1 DEMAND VOLT AMPERES (INCLUDES DEMAND FACTOR)		14100		14100		L2 DEMAND VOLT AMPERES (INCLUDES DEMAND FACTOR)			
L1 DEMAND AMPS		117.50		117.50		L2 DEMAND AMPS			
		117.50		MAX DEMAND AMPS					

*GEN. BATTERY CHARGER LOAD IS 0 VA DURING GENERATOR OPERATION.

POWER PANEL SCHEDULE

SCALE: N.T.S.

PLANS PREPARED FOR:



4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

PROJECT INFORMATION:

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PLANS PREPARED BY:

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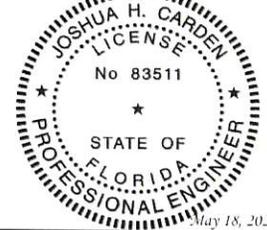


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DRAWN BY: JTG CHECKED BY: JHG

SHEET TITLE:

POWER PANEL SCHEDULE

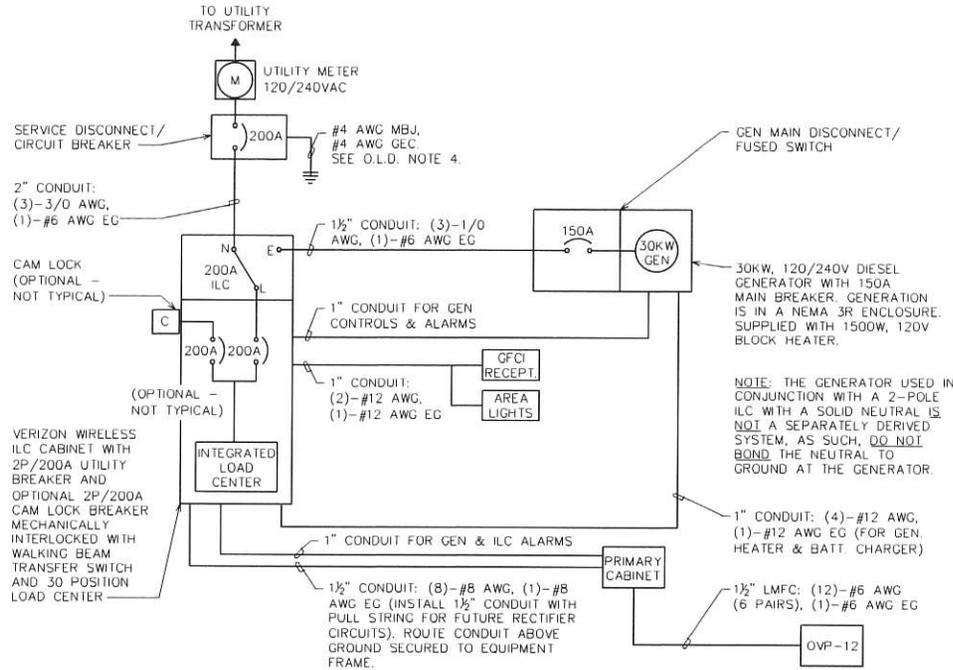
SHEET NUMBER:	REVISION:
E-2	1
TEP#: 21142521-141001	

NOTES:

- METER BASE FOR 200A, 120/240V, 1Ø SERVICE WITH SERVICE ENTRANCE RATED CIRCUIT BREAKER TYPE DISCONNECT SWITCH. UTILITY COMPANY TO PROVIDE METER.
- FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT, REFER TO VENDOR PRINTS PROVIDED BY EQUIPMENT MANUFACTURER.
- WHEN UTILITY COMPANY REQUIRES A SERVICE DISCONNECT OTHER THAN THE MAIN BREAKER IN POWER PANEL OF THE UTILITY CABINET, REMOVE BONDING JUMPER IN EQUIPMENT CABINETS AND BOND SERVICE DISCONNECT PER NEC REQUIREMENTS.
- CONTRACTOR SHALL REVIEW AND COMPLY WITH MANUFACTURERS EQUIPMENT DRAWINGS FOR ADDITIONAL REQUIREMENTS THAT MAY NOT BE SHOWN.
- CONTRACTOR SHALL OBTAIN THE MAXIMUM AVAILABLE FAULT CURRENT AT THE UTILITY SERVICE POINT FROM THE ELECTRIC COMPANY IN WRITING PRIOR TO ORDERING MATERIALS AND ENSURE THE EQUIPMENT WILL HAVE HIGHER RATING WITH A MIN VALUE OF 10,000A.
- THE GROUNDED SERVICE CONDUCTOR SHALL BE GROUNDED AT THE SERVICE DISCONNECT ONLY.
- DO NOT BOND THE NEUTRAL TO GROUND AT THE GENERATOR.
- SIGNAGE MUST BE DISPLAYED ON DISCONNECT "OPENING THE EQUIPMENT DISCONNECT WILL CAUSE THE EMERGENCY GENERATOR TO START TO REMOVE POWER ENTIRELY FROM EQUIPMENT, THE GENERATOR MUST BE TURNED OFF USING THE GENERATOR STOP SWITCH."

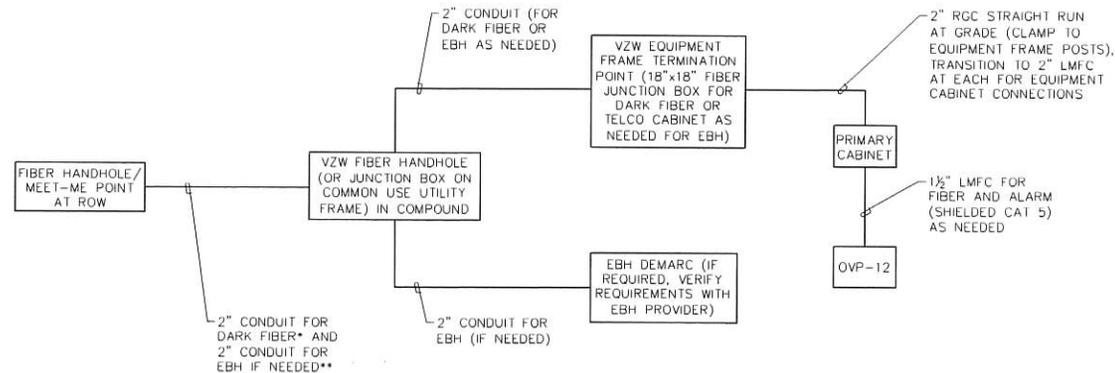
ONE-LINE DIAGRAM NOTES:

- ELECTRICAL SERVICE SHALL BE 200A, 240/120V, 1Ø, 3W.
- METER BASE WITH MAIN CIRCUIT BREAKER (SUITABLE FOR USE AS SERVICE EQUIPMENT.)
- UTILITY COMPANY TO INSTALL 200 AMP METER IN PROPOSED MULTI-METER BASE.
- GROUNDING ELECTRODE CONDUCTOR IS SIZED FOR SINGLE 200A SERVICE ONLY. IF METER BANK SHARES A COMMON NEUTRAL /GROUND POINT, CONTRACTOR WILL INSTALL (1) 3/0 COPPER GEC INSTEAD.
- COMPLY WITH MANUFACTURER SPECIFICATIONS REGARDING WIRING REQUIREMENTS.
- INSTALL A 200A BREAKER BY VERIZON WIRELESS CONTRACTOR.
- CONDUCTOR SIZES BASED ON TYPICAL CONFIGURATIONS. CONTRACTOR WILL VERIFY WITH MANUFACTURER SPECIFICATIONS BEFORE ORDERING OR INSTALLING PARTS.
- WIRE COUNT IS BASED ON EQUIPMENT SPECIFICATIONS PROVIDED BY VERIZON WIRELESS.
- NEUTRAL CONDUCTORS TO THE RECTIFIERS WERE LEFT OFF AT THE ADVICE OF VERIZON WIRELESS EQUIPMENT ENGINEER. CONTRACTOR TO VERIFY WIRING REQUIREMENTS WITH RECTIFIER MANUFACTURER SPECIFICATIONS
- EXISTING GROUNDING ELECTRODE CONDUCTOR & MAIN BONDING JUMPER. CONTRACTOR TO VERIFY EXISTENCE AND LOCATION.
- CONDUCTOR SIZED BASED ON A MAXIMUM GENERATOR BREAKER RATING OF 150A.
- FOR FIBER:
 - ADD (1) ADDITIONAL 2" CONDUIT FOR DARK FIBER (2 TOTAL) IF REQUIRED BY LOCAL MARKET FACILITIES, VERIFY PRIOR TO CONSTRUCTION. (ADD 2 PULL STRINGS TO EACH CONDUIT)
 - VERIFY EBH REQUIREMENTS WITH TELCO PROVIDER PRIOR TO CONSTRUCTION. (ADD 2 PULL STRINGS TO EACH CONDUIT)



ELECTRICAL ONE-LINE DIAGRAM

SCALE: N.T.S.



FIBER ONE-LINE DIAGRAM

SCALE: N.T.S.

PLANS PREPARED FOR:

verizon

4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

PROJECT INFORMATION:

VZW SITE #: 722759
VZW SITE NAME:
ICHETUCKNEE SPRINGS
 COUNTY ROAD 137 AND US HIGHWAY 27
 BRANFORD, FL 32008
 (SUWANNEE COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
 326 TRYON ROAD
 RALEIGH, NC 27603-3530
 OFFICE: (919) 661-6351
 www.tepgroup.net
 FL COA # 31011

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SEAL:

JOSHUA H. CARDEN
 LICENSE
 No 83511
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 May 18, 2023

1	05-18-23	CONSTRUCTION
0	04-17-23	PRELIMINARY
REV	DATE	ISSUED FOR:
DRAWN BY: CF	CHECKED BY: JFU	

SHEET TITLE:

ONE-LINE DIAGRAM

SHEET NUMBER: **E-3**

REVISION: **1**

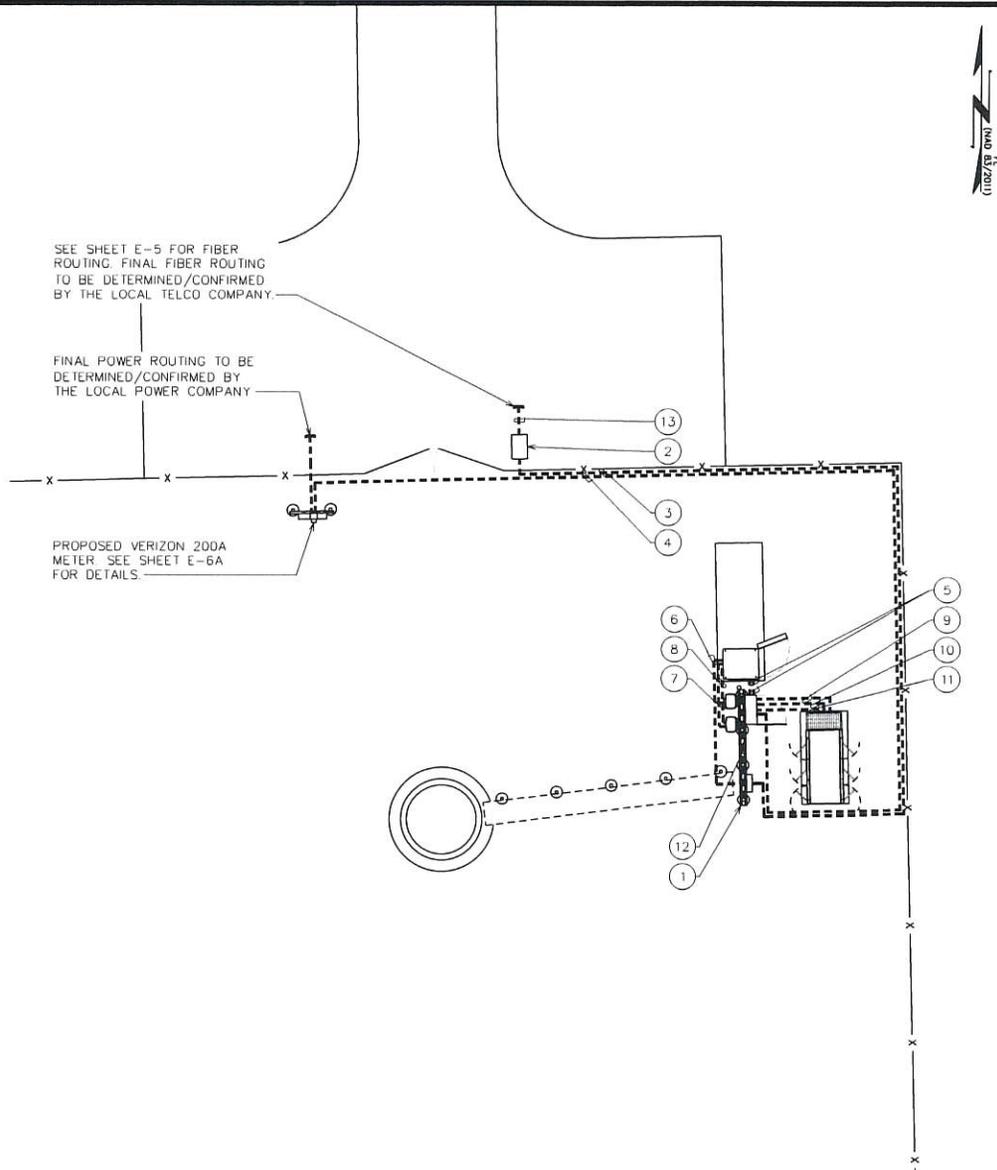
TEP#: 31-14-009-740061

LABEL LIST:

- ① VERIZON H-FRAME. SEE SHEET E-6 FOR DETAILS.
- ② PROPOSED VERIZON FIBER HANDHOLE PERMANENTLY LABELED "VZW FIBER"
- ③ (2)-2" PVC TELCO CONDUITS, EACH WITH PULL STRING. ALL CONDUITS SHALL UTILIZE LONG SWEEPS AT BENDS.
- ④ (1)-2" PVC CONDUIT FOR POWER
- ⑤ (1)-1½" CONDUIT FOR RECTIFIERS & GFCI, (1)-1" CONDUIT FOR ALARM FROM ILC TO RBAB4
- ⑥ (1)-2" TELCO CONDUIT FROM TELCO BOX TO RBAB4
- ⑦ (1)-2" CONDUIT FOR FIBER FROM RAYCAP TO RBAB4
- ⑧ (1)-1½" CONDUIT FOR EVERY (6) RRU CIRCUITS FOR POWER FROM RAYCAP TO RBAB4
- ⑨ (1)-1" CONDUIT FOR GENERATOR HEATER & BATTERY CHARGER FROM ILC TO GENERATOR
- ⑩ (1)-1" CONDUIT FOR ALARM AND CONTROL WIRING FROM ILC TO GENERATOR
- ⑪ (1)-1½" CONDUIT FOR POWER FROM ILC TO GENERATOR
- ⑫ (1)-1" CONDUIT TO AREA LIGHTS FROM J-BOX ON VZW H-FRAME
- ⑬ (2)-2" PVC TELCO CONDUITS FROM "VZW FIBER" HANDHOLE TO TELCO DEMARC AT RIGHT-OF-WAY
- ⑭ (1)-½" CONDUIT WITH KILL SWITCH WIRING FROM ILC TO GENERATOR KILL SWITCH (AS NECESSARY)
- ⑮ (1)-¾" CONDUIT FROM ILC TO TOWER LIGHTING CONTROLLER (AS NECESSARY)
- ⑯ (1)-1" CONDUIT FROM TOWER LIGHTING CONTROLLER TO MONOPOLE TOWER (AS NECESSARY)

NOTES:

- 1. AREA LIGHT LITHONIA HFR 250M SLWA DNA LPI CONTROL VIA CONTRACTOR PROVIDED MANUAL TIMER SWITCH (WEATHERPROOF).
- 2. POWER AND TELCO CONDUITS RECEIVING CONDUCTORS BY OTHERS TO HAVE PULL ROPES.
- 3. ALL TELCO CONDUITS ARE TO BE STUBBED IN D-MARC LOCATION.
- 4. ALL POWER CONDUITS ARE TO BE TERMINATED AT THE METER CENTER.
- 5. THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO TRENCHING. ANY DAMAGE CAUSED TO THE EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- 6. ALL CONDUITS SHALL BE INSTALLED PRIOR TO FINISH GRADING, GEOFABRIC, AND STONE INSTALLATION.
- 7. CONTRACTOR SHALL INSTALL SWEEPS AT ALL CONDUIT DIRECTION CHANGES UNLESS NOTED OTHERWISE.
- 8. RUN CONDUITS FROM ILC TO GENERATOR UNDERGROUND AND STUB UP CONDUITS MINIMUM 6" HIGH INSIDE GENERATOR BASE AND TERMINATE WITH MALE ADAPTER AND THREADED BUSHING.
- 9. WHEN ALL RRU'S ARE GROUND MOUNTED, OMIT OVP'S AND RUN FIBER/POWER FROM RBAB4 DIRECTLY TO RRU'S.
- 10. FIBER BRIDGE CONDUIT TO BE LEFT AS 5' LONG CAPPED STUB CONDUIT WHEN NO EXISTING HANDHOLE IS PRESENT.
- 11. CONTRACTOR TO VERIFY WITH CM WHICH EXISTING HANDHOLE (IF ANY) BELONGS TO FIBER PROVIDER.
- 12. CONTRACTOR TO INSTALL (2) PULL ROPES IN EACH FIBER CONDUIT.



POWER & TELCO ROUTING PLAN

SCALE: 3/32" = 1'-0"

PLANS PREPARED FOR:



4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

PROJECT INFORMATION:
VZW SITE #: 722759
VZW SITE NAME:
ICHETUCKNEE SPRINGS
COUNTY ROAD 137 AND US HIGHWAY 27
BRANFORD, FL 32008
(SUWANNEE COUNTY)

PLANS PREPARED BY:
TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net
FL COA # 31011



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REV	DATE	ISSUED FOR:
DRAWN BY: CJ	CHECKED BY: JHU	

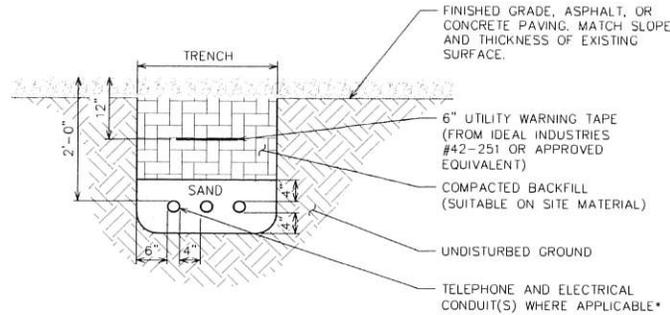
SHEET TITLE:
POWER & TELCO ROUTING PLAN

SHEET NUMBER: E-4	REVISION: 1
TEP#: 214099740061	

NOTES:

1. ACTUAL SEPARATION OF CONDUITS TO BE DETERMINED BY SITE SPECIFIC REQUIREMENTS.
2. PROVIDE SCH40 PVC CONDUIT BELOW GRADE UNLESS OTHERWISE NOTED
3. PROVIDE SCH80 PVC CONDUIT FOR INSTALLATIONS BELOW VEHICULAR TRAFFIC AREAS.

*SEPARATION DIMENSIONS TO BE VERIFIED WITH LOCAL UTILITY COMPANY REQUIREMENTS

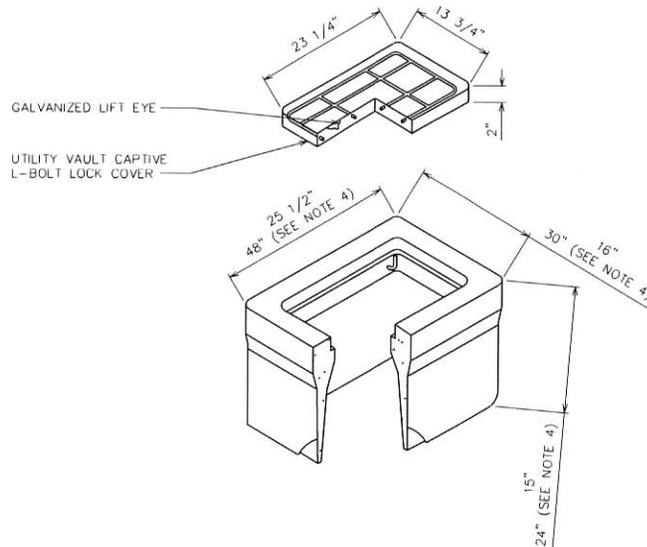


UNDERGROUND CONDUIT(S) TRENCH DETAIL (TYP)

SCALE: N.T.S.

NOTES:

1. INSTALL ON 3/4" AGGREGATE WHICH SHALL EXTEND A MINIMUM OF 6" BEYOND ALL SIDES OF THE BOX AND BE A MINIMUM OF 4" DEEP, BELOW THE BOX.
2. UTILITY VAULT COMPANY MODEL #1324 OR EQUAL.
3. COVER TO HAVE POWER/ELEC OR TELCO SHOWN.
4. VERIZON FIBER HANDHOLE LOCATED AT RIGHT OF WAY TO BE PERMANENTLY LABELED "VZW FIBER" TO BE 30" (WIDE)x48" (LONG)x24" (DEEP).



HANDHOLE DETAIL (TYP)

SCALE: N.T.S.

PLANS PREPARED FOR:



4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

PROJECT INFORMATION:

VZW SITE #: 722759
VZW SITE NAME:
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COUNTY ROAD 137 AND US HIGHWAY 27
BRANFORD, FL 32008
(SUWANNEE COUNTY)

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Y	05-18-23	CONSTRUCTION
O	04-17-23	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: CF CHECKED BY: JHJ

SHEET TITLE:

**POWER & TELCO
ROUTING DETAILS**

SHEET NUMBER:	REVISION:
E-4A	1
TEP#: 314099740061	

NOTES:

1. UTILITY ROUTING IS PRELIMINARY AND PENDING COORDINATION WITH LOCAL UTILITY COMPANY.
2. HANDHOLE COORDINATES PROVIDED BY GOOGLE EARTH. NO ADDITIONAL SURVEY WORK REQUIRED.
3. BRIDGE CONDUIT TO BE PROVIDED BY OTHERS IF NO FIBER HANDHOLE EXISTS PRIOR TO CONSTRUCTION.
4. INTERMEDIATE HANDHOLES TO BE INSTALLED WHEN DIRECTIONAL CHANGES EXCEED 45° AND EVERY 500' MAXIMUM.
5. CONTRACTOR TO CONFIRM WITH CM IF (2)-2" FIBER CONDUITS ARE PART OF INITIAL CONSTRUCTION.
6. CONTRACTOR TO INSTALL (2) PULL ROPES IN EACH FIBER CONDUIT.



PLANS PREPARED FOR:

verizon

4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

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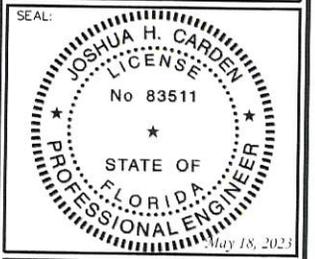
VZW SITE #: 722759
VZW SITE NAME:
ICHETUCKNEE SPRINGS

COUNTY ROAD 137 AND US HIGHWAY 27
BRANFORD, FL 32008
(SUWANNEE COUNTY)

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1	05-18-23	COORD. STRUCTURE
0	04-17-23	PRELIMINARY
REV	DATE	ISSUED FOR:

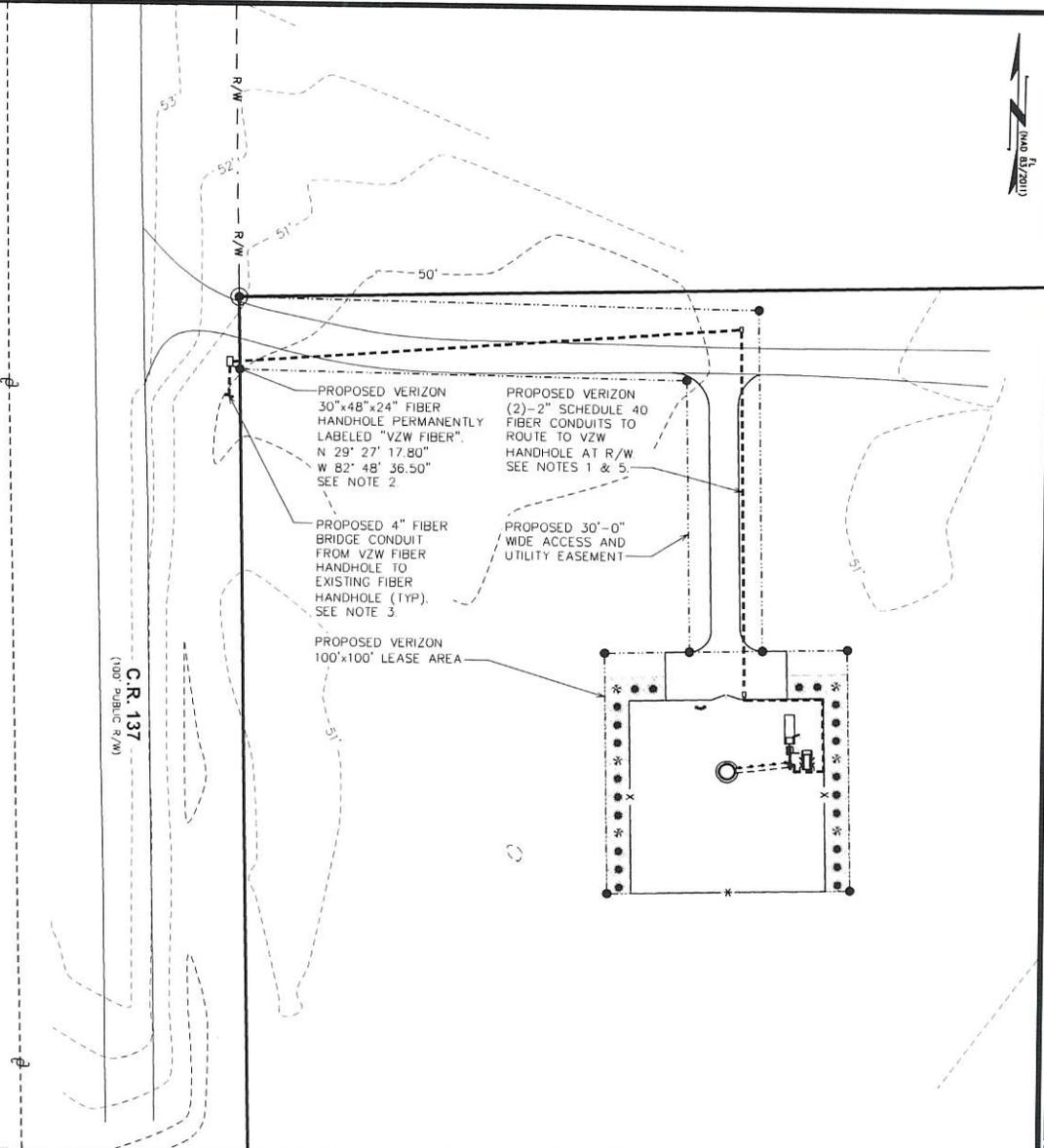
DRAWN BY: *CF* CHECKED BY: *RLJ*

SHEET TITLE:
FIBER ROUTING PLAN

SHEET NUMBER: E-5	REVISION: 1
TEP#: 314099-740261	

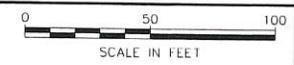
LEGEND

- EXIST. PROPERTY LINE
- - - ADJ. PROPERTY LINE
- ⊗ EXIST. UTILITY POLE
- ⊠ EXIST. TELCO PEDESTAL
- PROPERTY CORNER
- LEASE/EASE. CORNER
- - -200- - - EXIST. CONTOUR LINE
- /// EDGE OF PAVEMENT
- - -OHW- - - OVERHEAD WIRE
- - -R/W- - - RIGHT-OF-WAY
- X - CHAIN LINK FENCE
- ~ ~ ~ EXISTING TREE LINE



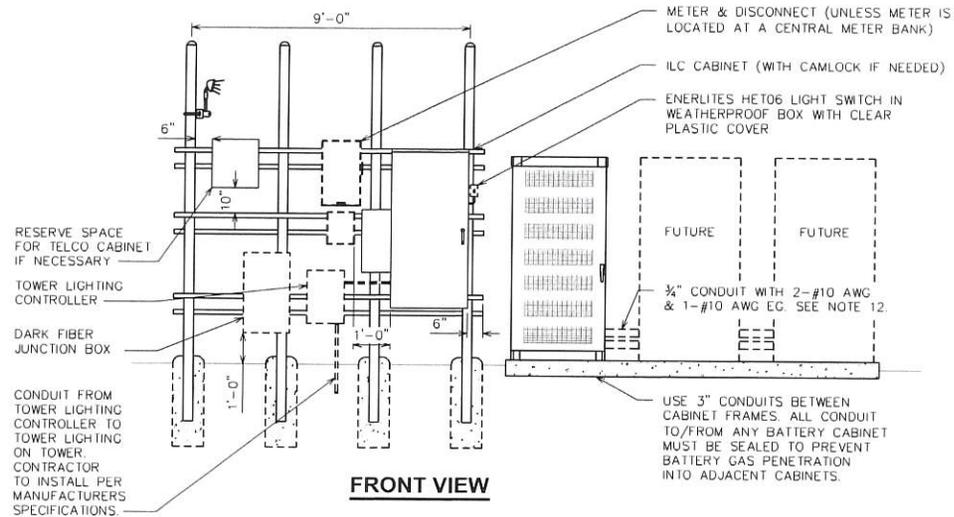
FIBER ROUTING PLAN

SCALE: 1" = 50'

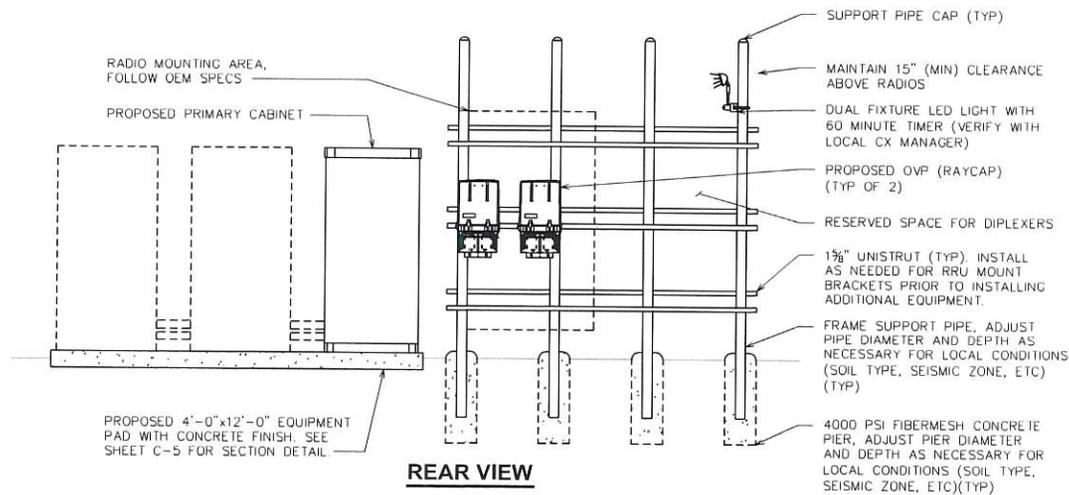


NOTES:

1. ALL WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE, STATE BUILDING CODES AND THE LOCAL BUILDING CODES. ALL COMPONENTS SHALL BE U.L. LISTED.
2. REFER TO SHEET C-4 FOR EQUIPMENT LAYOUT AND EXACT LOCATION OF VERIZON H-FRAME.
3. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANY FOR INSTALLATION OF NEW METER IN UTILITY H-FRAME.
4. COORDINATE EXACT LOCATION OF UNDERGROUND FEEDERS AND CIRCUITRY WITH THE OWNER.
5. CONTRACTOR SHALL COORDINATE EFFORTS WITH (LOCAL, ELECTRICAL) AUTHORITY HAVING JURISDICTION (AHJ) AND OTHER TRADES TO DETERMINE "FROST" LINE, AND TYPES OF RACEWAYS REQUIRED FOR INSTALLATION.
6. BOND ALL ELECTRICAL EQUIPMENT TO RACK.
7. DIMENSIONS SHOWN ARE APPROXIMATE AND MAY BE ALTERED IN THE FIELD AS APPROVED BY OWNER TO BETTER SUIT ACTUAL CONDITIONS OR EQUIPMENT RECEIVED.
8. FOR ANY METAL CONDUIT ENTERING AN ENCLOSURE WHERE A PRE-PUNCHED CONCENTRIC OR ECCENTRIC KNOCKOUT IS USED, THE CONTRACTOR SHALL ENSURE ADEQUATE BONDING BETWEEN THE METAL CONDUIT AND ENCLOSURE BY INSTALLING A BONDING JUMPER AROUND THE CONCENTRIC OR ECCENTRIC KNOCKOUT.
9. CONTRACTOR SHALL INSURE THAT NO OPERABLE DEVICE SHALL EXCEED 6"-6" TO CENTER LINE OF DEVICE.
10. GENERATOR STOP SWITCH TO BE FURNISHED BY LESSEE AND INSTALLED BY GC.
11. ILC TO BE FURNISHED BY VZW AND INSTALLED BY GC.
12. BREAKER AND CONDUCTOR SIZES BASED ON TYPICAL CONFIGURATIONS. CONTRACTOR WILL VERIFY WITH MANUFACTURER SPECIFICATIONS BEFORE ORDERING OR INSTALLING PARTS.



FRONT VIEW



REAR VIEW

VERIZON H-FRAME DETAILS

SCALE: N.T.S.

PLANS PREPARED FOR:



4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

PROJECT INFORMATION:

VZW SITE #: 722759
VZW SITE NAME:
ICHETUCKNEE SPRINGS
COUNTY ROAD 137 AND US HIGHWAY 27
BRANFORD, FL 32008
(SUWANNEE COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net
FL COA # 31011

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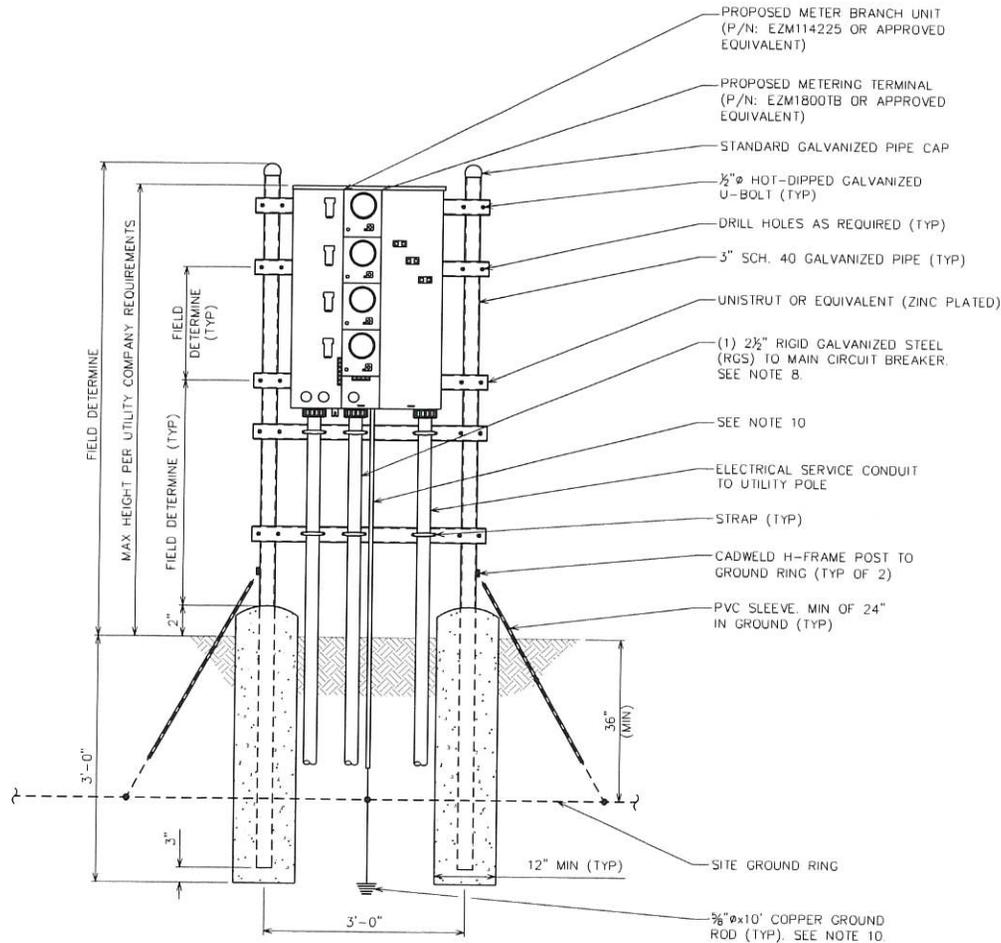
SHEET TITLE:

VERIZON H-FRAME DETAILS

SHEET NUMBER:	REVISION:
E-6	1
TEP#: 31469974061	

NOTES:

1. ELECTRICAL SERVICE SHALL BE RATED 200A, 120/240V, 1Ø, 3W. COORDINATE METER CENTER ACCEPTABILITY WITH LOCAL UTILITY COMPANY PRIOR TO ORDERING AND INSTALLATION.
2. CONNECT NEUTRAL TERMINAL IN METERING DEVICE TO GROUNDING ELECTRODE.
3. PROVIDE GROUNDING ELECTRODE AND CONNECT TO METER AND SERVICE DISCONNECT PER NEC AND PER UTILITY COMPANY SPECIFICATIONS.
4. REFER TO ELECTRICAL SITE PLAN FOR CONDUIT AND WIRE REQUIREMENTS.
5. ALL EQUIPMENT SHALL BE GROUNDED PER LATEST EDITION OF NEC AND AS INDICATED ON GROUNDING PLAN.
6. ELECTRICAL EQUIPMENT SHALL BE MIN 3'-0" FROM ANY STRUCTURE AND AS REQUIRED BY LOCAL UTILITY COMPANIES AND AHJ.
7. USE NON-FUSED BREAKER FOR DISCONNECT IF ALLOWED BY CODE.
8. ALL UNDERGROUND CONDUITS SHALL BE SCH. 80 PVC. ALL CONDUITS TO HAVE RIGID GALVANIZED STEEL (RGS) SWEEPS AND RISERS.
9. ALL CONDUITS ARE REQUIRED TO BE STRAPPED TO THE UNISTRUT ON THE H-FRAMES
10. GROUNDING ELECTRODE CONDUCTOR IS SIZED FOR SINGLE 200A SERVICE ONLY. IF METER BANK SHARES A COMMON NEUTRAL/GROUND POINT, CONTRACTOR WILL INSTALL (1) 3/0 COPPER GEC INSTEAD.



PLANS PREPARED FOR:

verizon

4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

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COUNTY ROAD 137 AND US HIGHWAY 27
BRANFORD, FL 32008
(SUWANNEE COUNTY)

PLANS PREPARED BY:

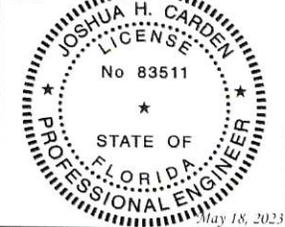
TOWER ENGINEERING PROFESSIONALS

326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net
FL COA # 31011

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0	04-17-23	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: *CF* CHECKED BY: *JHJ*

SHEET TITLE:
SERVICE RACK DETAILS

SHEET NUMBER: **E-6A** REVISION: **1**
TEP#: 21-1659-740661

SERVICE RACK DETAILS

SCALE: N.T.S.

VERIZON GROUNDING NOTES:

1. THE GROUND RING SHALL CONSIST OF #2 AWG BARE SOLID TINNED COPPER (STC) CONDUCTOR, UNLESS NOTED OTHERWISE, BURIED AT 30" BELOW FINISHED GRADE (OR BELOW FROST LINE). LOCATE 24" MINIMUM AND 36" MAXIMUM FROM EQUIPMENT AREA. ALL CONNECTIONS SHALL BE MADE USING A PARALLEL TYPE EXOTHERMIC WELD, UNLESS NOTED OTHERWISE. WHERE THE GROUND RING DISTURBS EXISTING SITE GROUNDING, CONNECT GROUND RING TO EXISTING SITE CONDUCTORS SO AS TO MAINTAIN THE CONTINUITY OF THE EXISTING GROUND SYSTEM.

2. INSTALL GROUND RODS AS SHOWN AND AS REQUIRED. GROUND RODS TO BE COPPER CLAD STEEL, 5/8" DIAMETER AND 10FT IN LENGTH. SPACING BETWEEN GROUND RODS SHALL BE 10FT MINIMUM AND 15FT MAXIMUM. TOP OF GROUND ROD TO BE 30" MINIMUM BELOW GRADE (OR BELOW FROST LINE). BOND TOP OF GROUND ROD TO GROUND WIRE WITH EXOTHERMIC WELD. DO NOT EXOTHERMICALLY WELD ANYTHING TO GROUND ROD EXCEPT GROUND WIRE WHICH PASSES OVER TOP OF GROUND ROD.

3. EQUIPMENT AREA GROUND RING SHALL HAVE A MINIMUM OF 4 GROUND RODS, INSTALLED AT THE CORNERS OF THE GROUND RING PLUS ADDITIONAL RODS AS REQUIRED TO COMPLY WITH THE SPACING REQUIREMENTS.

4. EQUIPMENT AREA GROUND RING AND TOWER GROUND RING SHALL BE BONDED TOGETHER WITH TWO #2 STC GROUND LEADS, TYPICALLY ONE ON EACH SIDE OF ICE BRIDGE.

5. MINIMUM BEND RADIUS FOR #2 AWG GROUND WIRE IS 12", EXCEPT USE 24" FOR EQUIPMENT AREA GROUND RINGS.

6. GROUND ALL EXTERIOR EXPOSED METAL OBJECTS TO BURIED GROUND SYSTEM WITH #2 STC MECHANICALLY ATTACHED OR EXOTHERMICALLY WELDED TO OBJECTS AND EXOTHERMICALLY WELDED TO GROUND RING. USE TWO HOLE LUGS FOR CONNECTION TO FLAT METAL SURFACES. USE ONLY STAINLESS STEEL HARDWARE ON ALL MECHANICAL CONNECTIONS. CLEAN ALL SURFACES (AND STRIP PAINTED SURFACES) TO BARE BRIGHT METAL PRIOR TO MAKING GROUND CONNECTIONS. APPLY ANTI-OXIDE COMPOUND TO ALL MECHANICAL CONNECTIONS. APPLY ZINC RICH PAINT (COLD GALV.) TO ALL EXOTHERMIC WELDS, AND TO ANY METAL EXPOSED BY CLEANING, STRIPPING, GRINDING, CUTTING OR DRILLING.

7. ALL GROUNDING CONDUCTORS ABOVE GRADE SHALL BE RUN IN 3/4" FLEXIBLE PVC CONDUIT. CONDUIT SHALL BEGIN WITHIN 3/4" OF ABOVE GROUND CONNECTION POINT, SHALL EXTEND 24" BELOW GRADE MINIMUM, AND SHALL BE FILLED WITH SEALANT AT ABOVE GROUND CONNECTION POINT. SECURE CONDUIT EVERY 24" ON VERTICAL RUNS AND EVERY 36" ELSEWHERE WITH NON-METALLIC TIES.

8A. ON GUYED AND SELF SUPPORT TOWERS, MOUNT TOWER BOTTOM GROUND BAR ON DEDICATED POST DIRECTLY BELOW COAX CABLES COMING OFF TOWER. POST TO BE 3.5" OD GALVANIZED SCHEDULE 40 PIPE WITH GALVANIZED PIPE CAP TOP OF POST TO BE 78" ABOVE GRADE. EMBED POST 30" MINIMUM IN 12" DIAMETER BY 36" DEEP MINIMUM CONCRETE FOOTING WITH TOP OF FOOTING 6" BELOW GRADE. IF TOWER FOUNDATION OBSTRUCTS AUGERED FOOTING, USE POST WITH 10" SQUARE GALVANIZED STEEL FLANGE PLATE WELDED TO BOTTOM AND BOLT FLANGE TO TOP OF CONCRETE TOWER FOOTING.

8B. ON MONOPOLE TOWERS, CLAMP TOWER BOTTOM GROUND BAR DIRECTLY TO TOWER. IF RUNNING COAX INSIDE MONOPOLE, CLAMP ONTO BOTTOM LIP OF EXIT PORT. IF BANDING COAX TO OUTSIDE OF TOWER, CLAMP ONTO STEEL ANGLE WHICH IS Banded TO TOWER. BOND GROUND BAR TO TOWER GROUND RING WITH TWO #2 STC LEADS LUGGED TO GROUND BAR AND EXOTHERMICALLY WELDED TO GROUND RING.

9. AT EQUIPMENT AREA, INSTALL EXTERIOR GROUND BAR (THRU-BOLTED STYLE) AT BASE OF (2) INTERIOR H-FRAME POSTS AND AT TOP OF ICE BRIDGE POST WHICH IS NEAREST TO (BUT CLOSER TO TOWER THAN) THE COAX CABLE TERMINATION. MOUNT GROUND BAR TO H-FRAME POSTS AT 6" ABOVE GRAVEL AND TO ICE BRIDGE POST AT 6FT ABOVE GRAVEL.

10. ALL ICE BRIDGE SECTIONS ARE TO BE JUMPERED TOGETHER WITH #2 WIRE, EITHER BARE TINNED COPPER OR GREEN INSULATED STRANDED. ICE BRIDGE SHALL BE GROUNDED AT EACH END WITH #2 STC WIRE

LUGGED TO ICE BRIDGE AND EXOTHERMICALLY WELDED TO UPPER PORTION OF NEAREST ICE BRIDGE POST. ICE BRIDGE SECTIONS ABOVE H-FRAME SHALL BE BONDED TO EACH OTHER WITH JUMPERS AT EACH END - THIS ASSEMBLY WILL BE CONSIDERED AS A SINGLE ICE BRIDGE SECTION FOR GROUNDING PURPOSES.

11. BOND EACH ICE BRIDGE POST, H-FRAME POST OR DEDICATED GROUNDING POST TO BURIED GROUNDING SYSTEM WITH #2 STC LEAD EXOTHERMICALLY WELDED TO POST BELOW TOP OF GRAVEL AND EXOTHERMICALLY WELDED TO GROUND RING. EACH POST TO HAVE SEPARATE GROUND LEAD DIRECTLY TO GROUND RING - DO NOT DAISY CHAIN POSTS TOGETHER.

12. BOND EACH RF CABINET TO EQUIPMENT GROUND RING WITH #2 AWG TINNED SOLID BARE COPPER CONDUCTOR LUGGED TO CABINET BODY AND EXOTHERMICALLY WELDED TO GROUND RING. LUG TO CABINET BODY USING LOCATION AT WHICH STUDS ON CABINET CHASSIS HAVE DIRECT GROUND WIRE CONNECTION TO CABINET INTERNAL GROUND BAR. RUN CONDUIT AND CONDUCTOR ACROSS BACK OF CABINET (DO NOT RUN TOWARDS NEAREST CORNER OF CABINET AND THEN BEND GROUND WIRE SHARPLY), TAKE SHORTEST PATH ACROSS CONCRETE PAD, THEN DOWN INTO GRAVEL AREA.

13. BOND EACH BATTERY CABINET (WHERE USED) TO GROUND RING WITH #2 AWG TINNED SOLID BARE COPPER CONDUCTOR LUGGED TO CABINET BODY AND EXOTHERMICALLY WELDED TO GROUND RING. RUN GROUND LEAD IN FLEX CONDUIT ALONG BACK OF CABINET, TAKE SHORTEST PATH ACROSS CONCRETE PAD, THEN DOWN INTO GRAVEL AREA. CONNECT TWO HOLE LUG TO BACK OF CABINET AT FACTORY PROVIDED GROUNDING STUDS.

14. BOND GENERATOR TO GROUND RING WITH #2 STC MECHANICALLY FASTENED TO GENERATOR AND EXOTHERMICALLY WELDED TO GROUND RING. LOCATE GROUND LEADS AT TWO DIAGONALLY OPPOSITE CORNERS OF GENERATOR BY DRILLING AND BOLTING TWO HOLE LUG TO FINS ON GENERATOR BASE STRUCTURE. GROUND LEADS SHOULD TAKE SHORTEST PATH ACROSS CONCRETE PAD TO GRAVEL AREA, THEN CONTINUE TO GROUND RING.

15. WHERE PROPANE TANK IS INSTALLED TO FUEL GENERATOR, BOND PROPANE TANK TO GROUND RING WITH A SINGLE #2 STC CLAMPED TO FILLER PIPE OF PROPANE TANK AND EXOTHERMICALLY WELDED TO GROUND RING. GROUND LEAD SHOULD RUN TO TANK SUPPORT AND TAKE SHORTEST PATH ACROSS CONCRETE PAD TO GRAVEL AREA, THEN CONTINUE TO GROUND RING. IF PROPANE TANK FUEL LINE IS METALLIC AND CROSSES EQUIPMENT GROUND RING, BOND FUEL LINE TO EQUIPMENT GROUND RING WHERE THE TWO LINES CROSS WITH A SINGLE #2 STC CLAMPED TO FUEL LINE AND EXOTHERMICALLY WELDED TO GROUND RING.

16. BOND GPS ANTENNA AND GPS ANTENNA MOUNT TO TSDGA GROUND BAR AT BOTTOM OF H-FRAME POST WITH #2 GREEN INSULATED STRANDED GROUND WIRE. RUN GROUND WIRE DOWN ICE BRIDGE POST AND SECURE TO POST WITH NON-METALLIC TIES.

17. ANY METAL FENCE POST WITHIN 6FT OF A GROUNDED METAL OBJECT SHALL BE BONDED TO THE EQUIPMENT GROUND RING WITH #2 STC CLAMPED OR EXOTHERMICALLY WELDED TO THE POST AND EXOTHERMICALLY WELDED TO GROUND RING. ANY FENCE WITH METAL LINE POSTS WITHIN 6FT OF THE GROUND RING SHALL HAVE THE LINE POSTS BONDED TO THE GROUND RING WITH #2 STC WITH #2 STC CLAMPED OR EXOTHERMICALLY WELDED TO THE POST AND EXOTHERMICALLY WELDED TO GROUND RING AT 20FT MAXIMUM INTERVALS AS MEASURED ALONG THE LENGTH OF THE FENCE.

18. WHERE GROUND BASED RRU'S, RAYCAP OVP'S OR DIPLEXERS ARE INSTALLED AT THE EQUIPMENT AREA, BOND EACH COMPONENT TO NEAREST TSDGA GROUND BAR BELOW THE COMPONENT WITH #2 GREEN INSULATED STRANDED GROUND WIRE. SINGLE HOLE LUG OR RING TYPE CONNECTOR IS SUITABLE FOR CONNECTION TO GROUNDING STUD ON EACH COMPONENT.

19. NOTIFY VZW CM TO INSPECT GROUND RING BEFORE BACKFILLING. CONTRACTOR SHALL HIRE A 3RD PARTY TO PERFORM AN IEEE81 FALL OF POTENTIAL METHOD GROUND TEST. MAXIMUM ALLOWABLE RESISTANCE

TO GROUND IS 5 OHMS. PROVIDE ADDITIONAL GROUND SYSTEM COMPONENTS AS REQUIRED TO ACHIEVE THIS VALUE.

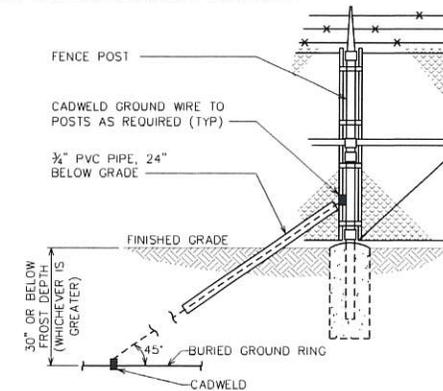
20. REFER TO TOWER GROUNDING DIAGRAM AND NOTES FOR GROUND SYSTEM REQUIREMENTS ON THE TOWER.

21. GROUNDING OF ALL ELECTRICAL EQUIPMENT SHALL BE AS PER NEC, MUNICIPAL AND UTILITY COMPANY REQUIREMENTS.

22. TOWER AND TOWER GROUND RING SHALL BE BONDED TOGETHER WITH THREE #2 STC GROUND LEADS.

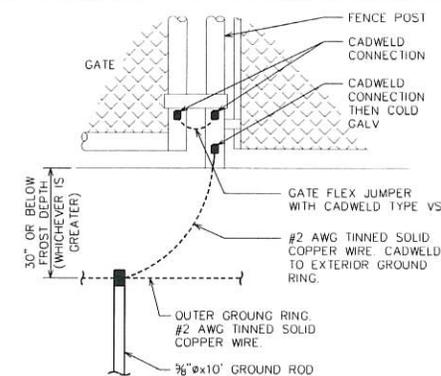
NOTE:

FROST DEPTH FOR JURISDICTION IS 5 INCHES.



FENCE GROUNDING DETAIL

SCALE: N.T.S.



GATE POST GROUNDING DETAIL

SCALE: N.T.S.

GROUNDING NOTES

SCALE: N.T.S.

PLANS PREPARED FOR:

verizon

4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

PROJECT INFORMATION:

VZW SITE #: 722759
VZW SITE NAME:
ICHETUCKNEE SPRINGS
COUNTY ROAD 137 AND US HIGHWAY 27
BRANFORD, FL 32008
(SUWANNEE COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net
FL COA # 31011

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0	04-17-23	PRELIMINARY
REV	DATE	ISSUED FOR:

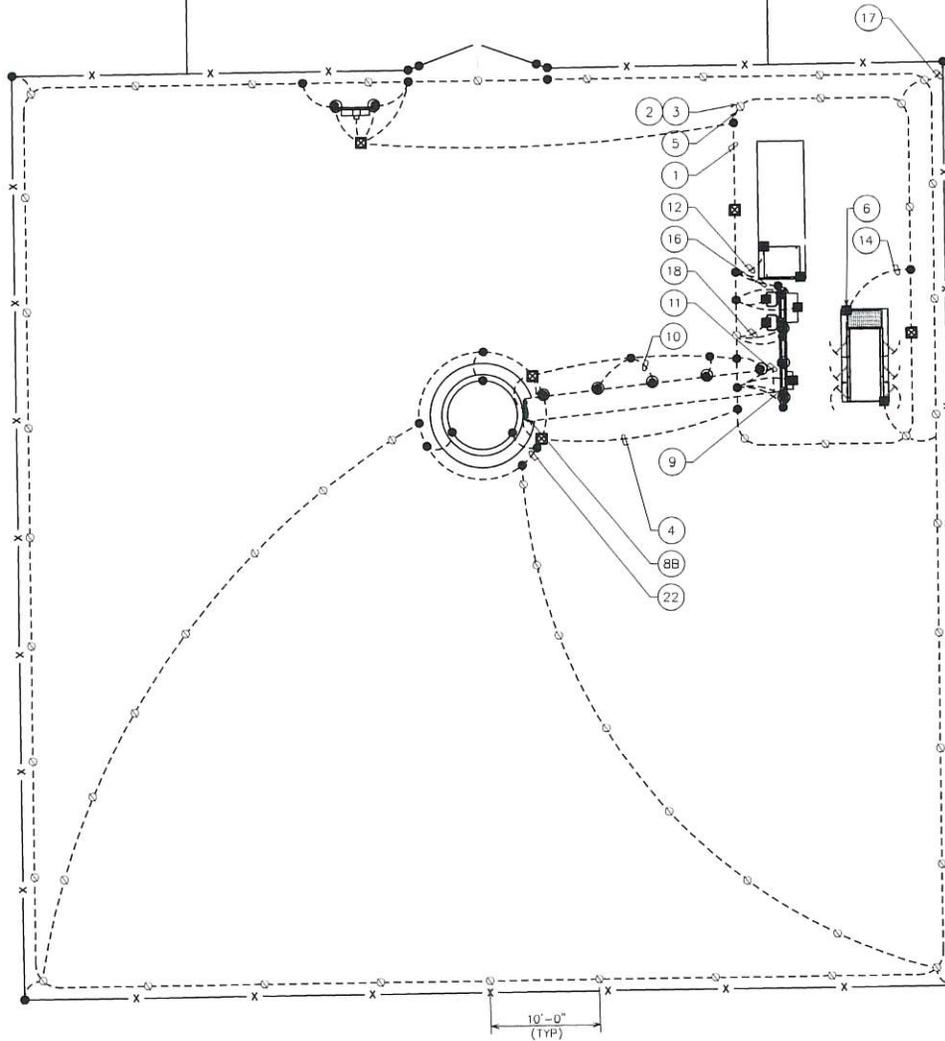
DRAWN BY: CA CHECKED BY: JHU

SHEET TITLE:
GROUNDING
NOTES & FENCE
GROUNDING DETAILS

SHEET NUMBER: **E-7** REVISION: **1**
TEP#: 314699740061

DRAWING NOTE:

SEE SHEET E-7 FOR ELECTRICAL
GROUNDING NOTES & REQUIREMENTS.



PLANS PREPARED FOR:



4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

PROJECT INFORMATION:

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VZW SITE NAME:
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COUNTY ROAD 137 AND US HIGHWAY 27
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REV	DATE	ISSUED FOR:

DRAWN BY: *CT* CHECKED BY: *JHJ*

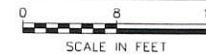
SHEET TITLE:
**GROUNDING
PLAN**

SHEET NUMBER: E-8	REVISION: 1 TEP#: 314499-74006-1
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LEGEND	
●	CADWELD
⊙	GROUND ROD
⊠	GROUND ROD WITH INSPECTION WELL
■	LUG FOR EQUIPMENT GROUNDING
—	GROUND RING
—●—	GROUND BAR

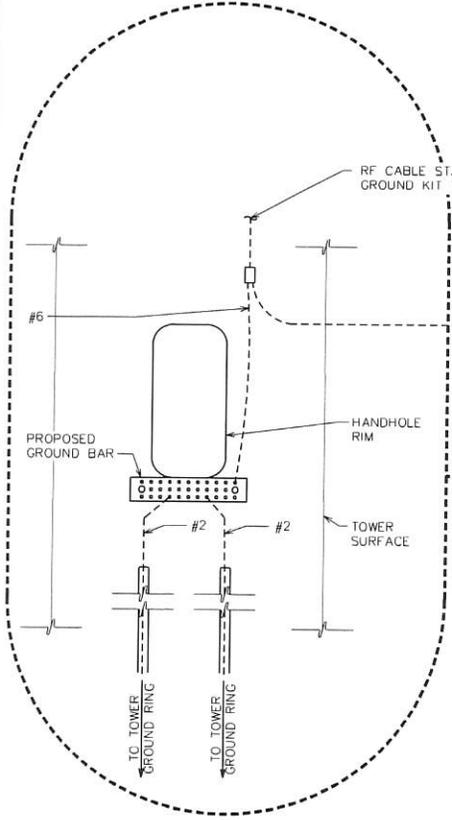
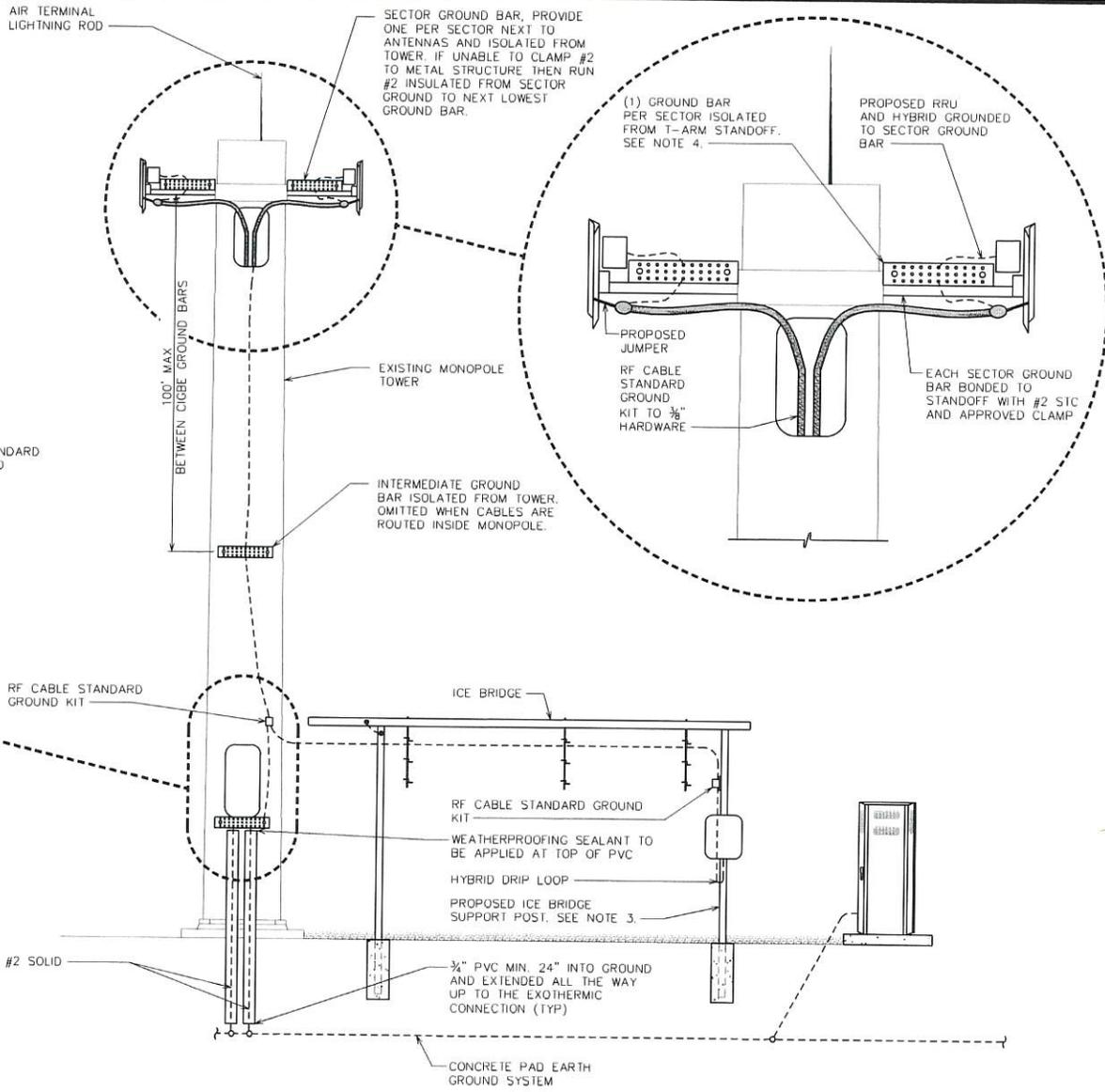
GROUNDING PLAN

SCALE: 3/32" = 1'-0"



NOTES:

1. MINIMUM BEND RADIUS OF #2 SOLID CONDUCTOR IS 12", EXCEPT MINIMUM FOR 24" FOR BUILDING OR TOWER GROUND RING.
2. ALL GROUND BARS SHALL BE INSTALLED WITH TAMPER RESISTANT MOUNTING HARDWARE.
3. TOP OF ICE BRIDGE POST FOOTINGS SHALL BE SET 6" BELOW TOP OF GRAVEL AND CADWELDED LEADS TO POSTS BELOW TOP OF GRAVEL.
4. SECTOR GROUND BARS ARE TO BE ISOLATED FROM TOWER STEEL, BUT THEN BONDED TO TOWER STEEL WITH #2 STC AND APPROVED CLAMP. SEE SHEET E-11 FOR GROUND BAR DETAIL.



ICE BRIDGE, COAX, STANCHION, AND TOWER GROUNDING DETAIL (TYP)

SCALE: N.T.S.

PLANS PREPARED FOR:

4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

PROJECT INFORMATION:
VZW SITE #: 722759
VZW SITE NAME:
ICHETUCKNEE SPRINGS
COUNTY ROAD 137 AND US HIGHWAY 27
BRANFORD, FL 32008
(SUWANNEE COUNTY)

PLANS PREPARED BY:
TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net
FL COA # 31011

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REV	DATE	ISSUED FOR:

DRAWN BY: *CF* CHECKED BY: *JK*

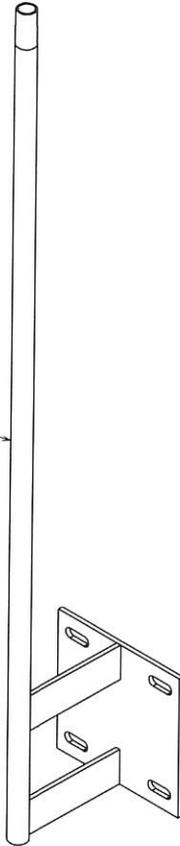
SHEET TITLE:
ICE BRIDGE & TOWER GROUNDING DETAIL

SHEET NUMBER: **E-9** REVISION: **1**
TEP#: 3146599 / 402661

NOTES:

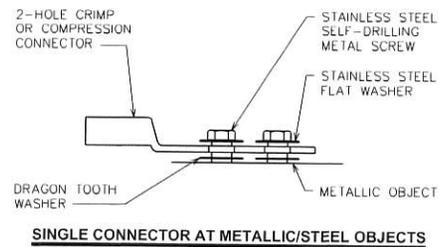
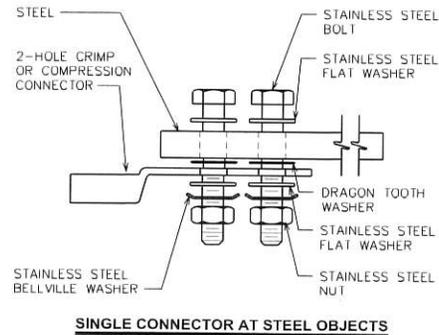
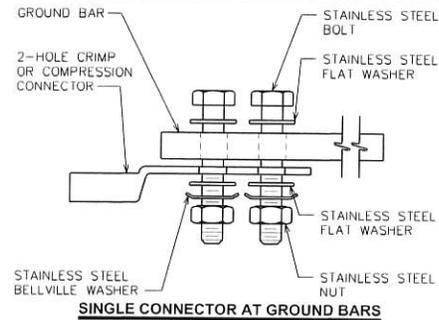
1. CONTRACTOR TO USE COMMSCOPE GPS-U MOUNT KIT TO MOUNT GPS ANTENNA. MOUNT PER MANUFACTURER'S SPECIFICATIONS.
2. EQUIPMENT INSTALLER IS RESPONSIBLE FOR INSTALLATION OF ANTENNA, MOUNT, AND COAX.
3. CONTRACTOR IS RESPONSIBLE FOR GPS MOUNTING PIPE, GROUND, AND CLAMP AROUND THE MAST FOR THE GPS.

COMMSCOPE GPS-U MOUNT KIT TO BE USED TO MOUNT GPS ANTENNA (AS NEEDED). SEE NOTE 1.



GPS MOUNT DETAIL

SCALE: N.T.S.



NOTES:

1. CHOOSE BOLT LENGTH TO ALLOW A MIN. OF TWO THREADS EXPOSED.
2. BURNISH MOUNTING SURFACE TO REMOVE PAINT IN THE AREA OF THE CONNECTOR.
3. APPLY ANTI-OXIDANT COMPOUND TO MATING SURFACE OF CONNECTOR AND WIPE OFF EXCESS COMPOUND.
4. APPLY CLEAR HEAT SHRINK OVER ENTIRE LENGTH OF LABEL FOR PROTECTION (REFER TO CONDUCTOR LABELS SECTION).

CONNECTOR AND HARDWARE DETAIL

SCALE: N.T.S.

PLANS PREPARED FOR:



4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

PROJECT INFORMATION:

VZW SITE #: 722759
VZW SITE NAME:
ICHETUCKNEE SPRINGS
COUNTY ROAD 137 AND US HIGHWAY 27
BRANFORD, FL 32008
(SUWANNEE COUNTY)

PLANS PREPARED BY:



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DRAWN BY: *CF* CHECKED BY: *JHG*

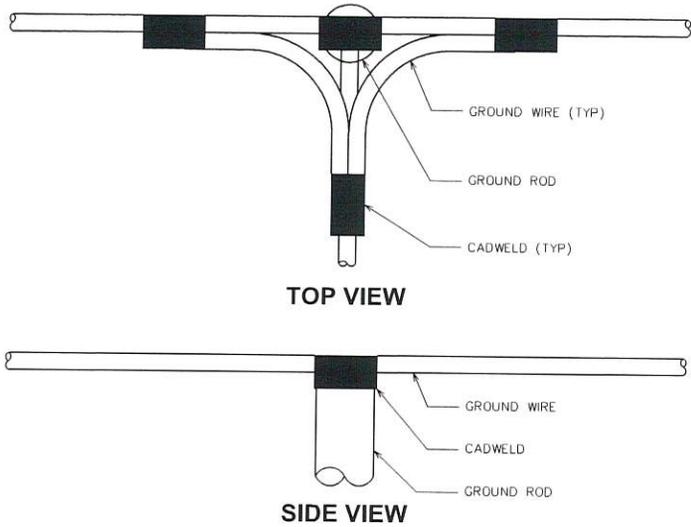
SHEET TITLE:

**GROUNDING
DETAILS I**

SHEET NUMBER:	REVISION:
E-10	1
TEP#: 31102297410001	

NOTE:

MINIMUM SPACING OF 12" BETWEEN ALL CADWELDS.

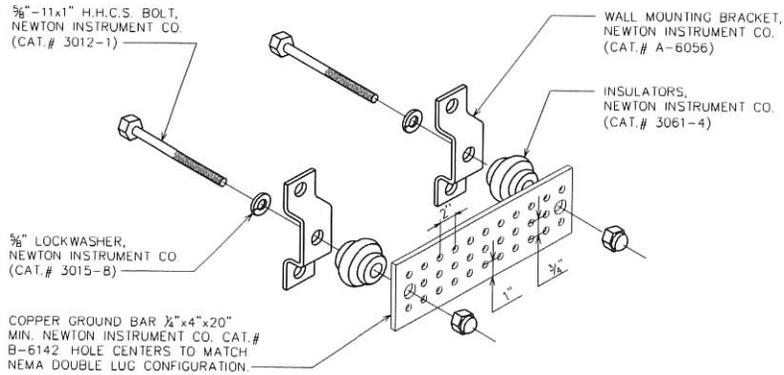


CADWELD GROUNDING DETAIL

SCALE: N.T.S.

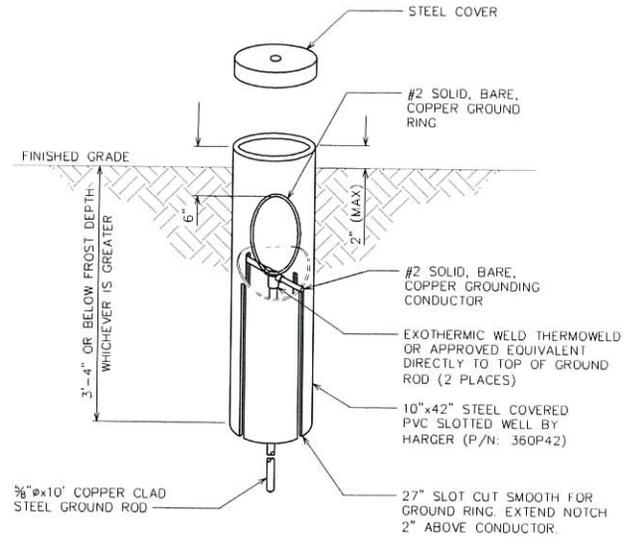
NOTE:

GROUND BAR SHALL BE SIZED TO ACCOMMODATE ALL GROUNDING CONNECTIONS REQUIRED PLUS PROVIDE 50% SPARE CAPACITY.



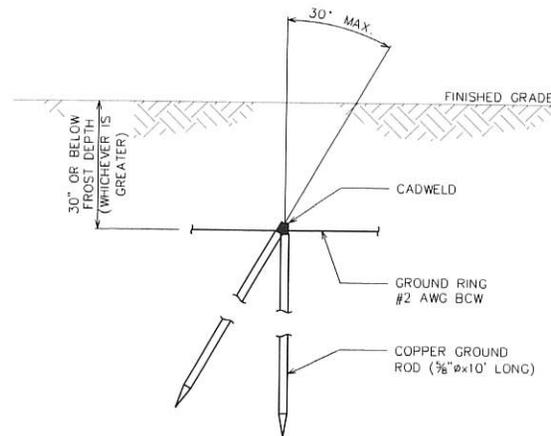
GROUND BAR DETAIL

SCALE: N.T.S.



GROUND ROD WITH INSPECTION WELL

SCALE: N.T.S.



COPPER-CLAD STEEL GROUND ROD

SCALE: N.T.S.

PLANS PREPARED FOR:

verizon
4700 EXCHANGE COURT, SUITE 100
BOCA RATON, FL 33431
(561) 995-5539

PROJECT INFORMATION:

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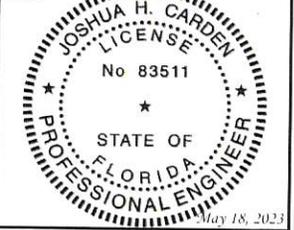
PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net
FL COA # 31011

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DRAWN BY: CJ	CHECKED BY: JHJ	

SHEET TITLE:
GROUNDING DETAILS II

SHEET NUMBER: E-11	REVISION: 1
TEP#: 21-46397-40361	



Site Number: 5000906930
Site Name: Ichetucknee Springs
Proposed Monopole

Country Road 137 and US Highway 27
Branford, FL 32008
(Suwannee County)

Ichetucknee Springs

- Legend**
- Proposed Tower Location
 - 1 Viewpoint Location 1
 - 2 Viewpoint Location 2
 - 3 Viewpoint Location 3
 - 4 Viewpoint Location 4



Google Earth

500 ft



Location 1 - Existing View



Photo facing Southeast toward the proposed tower location from Country Road 137

Location 1 - Proposed View



Photo facing Southeast toward the proposed tower location from Country Road 137

Location 2 - Existing View



Photo facing Northeast toward the proposed tower locations from the intersection of Country Road 137 and US Highway 27

Location 2 - Proposed View



Photo facing Northeast toward the proposed tower locations from the intersection of Country Road 137 and US Highway 27

Location 3 - Existing View



Photo facing Northwest toward the proposed tower locations from US Highway 27

Location 3 - Proposed View



Photo facing Northwest toward the proposed tower locations from US Highway 27

Location 4 - Existing View



Photo facing Northeast toward the proposed tower locations from US Highway 27

Location 4 - Proposed View



Photo facing Northeast toward the proposed tower locations from US Highway 27

SUWANNEE COUNTY
RESOLUTION NO. 2024-_____

A RESOLUTION OF THE BOARD OF COUNTY COMMISSIONERS OF SUWANNEE COUNTY, FLORIDA, CONCERNING AN APPLICATION FOR A SPECIAL PERMIT FOR AN ESSENTIAL SERVICE, AS AUTHORIZED UNDER SECTION 14.11 OF ORDINANCE 92-11, AS AMENDED, ENTITLED SUWANNEE COUNTY LAND DEVELOPMENT REGULATIONS; GRANTING A SPECIAL PERMIT FOR AN ESSENTIAL SERVICE (199 FEET COMMUNICATIONS TOWER AND ASSOCIATED EQUIPMENT) ON CERTAIN LANDS WITHIN THE UNINCORPORATED AREA OF SUWANNEE COUNTY, FLORIDA; REPEALING RESOLUTIONS IN CONFLICT; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, Ordinance No. 92-11, as amended, entitled Suwannee County Land Development Regulations, hereinafter referred to as the County's Land Development Regulations, empowers the Board of County Commissioners of Suwannee County, Florida, hereinafter referred to as the Board of County Commissioners, to grant special permits for essential services as authorized under Section 14.11 of the County's Land Development Regulations;

WHEREAS, an application, SP-23-10-01, for a special permit for an essential service (199 feet communications tower and associated equipment), as described below, has been filed with the County;

WHEREAS, pursuant to the County's Land Development Regulations, the Board of County Commissioners held the required public hearing with due public notice having been provided on said application, as described below, for a special permit for said telecommunications tower and associated equipment, and has considered all comments received during said public hearing concerning said application, as described below, for a special permit for said telecommunications tower and unmanned communications facility;

WHEREAS, the Board of County Commissioners has found that it is empowered under Section 14.11 of the County's Land Development Regulations to grant a special permit for said 199 feet communications tower and associated equipment;

WHEREAS, the Board of County Commissioners has determined and found that:

- a. The need exists for a 199 feet communications tower and associated equipment at this location;
- b. The location of a 199 feet communications tower and associated equipment on the property described below is in the public interest;
- c. The location of the 199 feet communications tower on the property is not within required setbacks of said property line; and
- d. The application for a special permit for a 199 feet communications tower and associated equipment on the property described below is in compliance with the provisions of Section 14.11 of the County's Land Development Regulations.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF SUWANNEE COUNTY, FLORIDA, THAT:

Section 1. Pursuant to an application by Harold Timmons, Tower Engineering Professionals, authorized agent for Glenda J. Sanford, to request a special permit for an essential service (199 feet communications tower and associated equipment), as provided for in Section 14.11 of the County's Land Development Regulations on certain lands within the County described as follows:

FOR POB COMMENCE AT THE NW CORNER OF THE S1/2 OF NW1/4 OF NW1/4 OF SECTION 22 TOWNSHIP 6 SOUTH RANGE 15 EAST SUWANNEE COUNTY FLORIDA RUN E 718.14 FEET THENCE RUN S 01 DEG 31'26 E 195.02 FEET THENCE RUN E 42 FEET THENCE RUN S 210 FEET THENCE RUN E 210 FEET THENCE RUN N 210 FEET THENCE RUN S 21 DEG 59'15 E 95.67 FEET THENCE RUN S 0 DEG 23'00 W 363 .19 FEET THENCE RUN W TO THE SW COR OF NW1/4 OF NW1/4 AND RUN N APPROX 660 FEET TO POB & COMM AT THE SE COR OF NW1/4 OF NW1/4 RUN N 210 FEET TO POB THENCE RUN W 210 FEET THENCE RUN N 34 FEET THENCE RUN N 27 DEG 10'40 E 158.62 FEET THENCE RUN N 88 DEG 41'01 E 171.05 FEET S 172.14 FT TO POB & A PARCEL OF LAND DESCRIBED IN ORB 1135 P 7 WD YR 05 LESS A PARCEL OF LAND DESCRIBED IN ORB 1135 P 6 SUWANNEE COUNTY, FLORIDA CONTAINING 14.41 ACRES.

The Board of County Commissioners hereby grants a special permit for an essential service (199 feet telecommunications tower and associated equipment) for said property subject to the conditions, if any, listed on Attachment I.

Section 2. All resolutions in conflict with this resolution are hereby repealed to the extent of such conflict.

Section 3. This resolution shall become effective upon adoption by the Board of County Commissioners.

PASSED AND DULY ADOPTED in regular session with a quorum present and voting, by the Board of County Commissioners, this 17th day of October 2023.

BOARD OF COUNTY COMMISSIONERS
SUWANNEE COUNTY, FLORIDA

Attest:

Franklin White, Chairman

Barry Baker, Clerk

Attachment I

1. That Suwannee County shall be granted co-location use of the tower, at no charge, for purposes of locating emergency communications equipment, if requested at a minimum height of 90 feet.

PROCLAMATIONS AND PRESENTATIONS

Presentation of Visit Suwannee's new video.
(Economic Development Director Jimmy Norris and
Marketing Coordinator Charissa Setzer)

GENERAL BUSINESS:

Set the meeting date, time, and location to extend the Local State of Emergency. (Greg Scott, County Administrator)

CHAIRMAN CALLS FOR ADDITIONAL AGENDA ITEMS.

1. _____

2. _____

3. _____

4. _____

PUBLIC CONCERNS AND COMMENTS



ADMINISTRATOR'S COMMENTS AND INFORMATION



BOARD MEMBERS' INQUIRIES, REQUESTS, AND COMMENTS

